



**AGENDA
BLOOMINGTON PLANNING COMMISSION
REGULAR MEETING
COUNCIL CHAMBERS
109 EAST OLIVE STREET
BLOOMINGTON, IL
WEDNESDAY, AUGUST 26, 2020 4:00 P.M.
THIS MEETING WILL BE HELD VIRTUALLY. LIVE STREAM AVAILABLE AT:
www.cityblm.org/live**

Prior to 15 minutes before the start of the meeting, 1) those persons wishing to provide public comment or testify at the meeting must register at www.cityblm.org/register, and/or 2) those persons wishing to provide written comment must email their comments to publiccomment@cityblm.org.

Members of the public may also attend the meeting at City Hall.

Physical attendance will be limited to the lesser of 50 persons or 50% of room capacity and will require compliance with City Hall COVID-19 protocols and social distancing.

The rules for participation and physical attendance may be subject to change due to changes in law or to executive orders relating to the COVID-19 pandemic occurring after the publication of this agenda.

Changes will be posted at www.cityblm.org/register.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT**
- 4. MINUTES** Review the minutes of the August 12, 2020 regular Bloomington Planning Commission meeting.
- 5. REGULAR AGENDA**

This meeting is being held virtually via live stream. Public comment will be accepted up until 15 minutes before the start of the meeting. Written public comment must be emailed to publiccomment@cityblm.org and those wishing to speak live must register at <https://www.cityblm.org/register> prior to the meeting.

Note, due to COVID-19 social distancing considerations, this meeting is held virtually. Those wishing to testify or comment remotely regarding a public hearing listed below must register at <https://www.cityblm.org/register> at least 15 minutes prior to the start of the meeting.

- A. Z-14-20** Public Hearing, review and action on an application submitted by Kathleen McCain, Executor of Donna Wade's Estate to rezone 808 S. Morris, Bloomington, IL 61701 (owned by the Estate of Donna Wade) from B-2 Local Commercial to R-2 Mixed Residence District. (Ward 6)
- B. PR-09-20** Public Hearing, review and action on an application submitted by Mark Allen of Speed Lube 10- Minute Oil Change Shops Inc. (924 E. Eldorado St. Decatur, IL 62521-1914) for a site plan review and special use permit to allow for new construction of an oil change facility (vehicle & repair service) at 1209 Holiday

Drive, Bloomington IL 61701. The applicant is also requesting the following variances: 1) 10' increase in the driveway width to allow a 40' drive (38.602B1); 2). 3' increase in building height for an overall height of 23'(44.1034E); 3). 19' decrease in required front yard setback for a 21' front yard (44.1034F); and 4). 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F) (Ward 5)

6. OLD BUSINESS

7. NEW BUSINESS

8. ADJOURNMENT



DRAFT
MINUTES

PUBLISHED BY THE AUTHORITY OF
THE PLANNING COMMISSION OF BLOOMINGTON, ILLINOIS
WEDNESDAY, AUGUST 12, 2020, 4:00 P.M.

WWW.CITYBLM.ORG/LIVE

This meeting was conducted under Governor Pritzker’s Executive Order 2020-07, Section 6 implemented in response to COVID-19, which suspended in-person attendance under the Open Meeting Act, 5 ILCS 120.

The Planning Commission convened in Regular Session virtually via zoom conferencing at 4:01 p.m., Wednesday, August 12, 2020. The meeting was live streamed to the public at www.cityblm.org/live. The Meeting was called to order by Chairperson Megan Headean.

Roll Call

Attendee Name	Title	Status
Ms. Megan Headean	Chair	Present
Mr. Tyson Mohr	Vice Chair	Present
Mr. Justin Boyd	Commissioner	Absent
Mr. Thomas Krieger	Commissioner	Present
Ms. Megan McCann	Commissioner	Present
Mr. Mark Muehleck	Commissioner	Present
Mr. David Stanczak	Commissioner	Present, arrived at 4:12 PM
Mr. John Danenberger	Commissioner	Present
Mr. George Boyle	Assistant Corporate Council	Present
Mr. Craig McBeath	Interim Information Systems Director	Present
Ms. Katie Simpson	City Planner	Present
Mr. Bob Mahrt	Community Development Director	Present

COVID-19

Chairperson Headean explained that this meeting was being held virtually via live stream pursuant to the gubernatorial executive order 2020-07, Section 6. Public comment was accepted until 15 minutes before the start of the meeting. Written public comment must have been emailed to publiccomment@cityblm.org and those wishing to speak live must have registered at <https://www.cityblm.org/register> at least 15 minutes prior to the meeting. Chairperson Headean and City Planner Katie Simpson were at City Hall, 109 E. Olive Street, Bloomington IL 61701. City Hall was open to the public with limited occupancy. No one from the public attended the meeting in person.

DRAFT
MEETING MINUTES

PUBLISHED BY THE AUTHORITY OF THE PLANNING COMMISSION OF BLOOMINGTON, ILLINOIS
WEDNESDAY AUGUST 12, 2020

Public Comment

Chairperson Headean opened the floor for public comment. None.

Minutes

The Commission reviewed the minutes from the July 22, 2020 regular meeting of the Bloomington Planning Commission.

No changes were proposed.

Commissioner Krieger made a motion, seconded by Commissioner McCann, that the amended Minutes from the July 22, 2020, meeting be approved:

AYES: Daneberger; Krieger; McCann; Mohr; Muehleck, Chairperson Headean

NAYES: None.

Motion carried.

Regular Agenda

Z-12-20 Public Hearing, review and action on minor text amendments, modifications and deletions to the Bloomington Zoning Ordinance, Chapter 44 of the City Code, submitted by the Bloomington City Council (Resolution 2020-12)

Chairperson Headean opened the public hearing and introduced the case. Ms. Simpson provided **staff's positive recommendation** and explained that staff was looking for guidance regarding a clarification to the notice procedures. Staff prepared two possible revision options to Division 17-5. Each option clarifies the timing of neighborhood notice. The first option (the "Courtesy" option) requires legal notice to be published in the paper 15 days prior to the public hearing, consistent with the state statute, and allows for a courtesy notice to be mailed to property owners within 500 feet. The first option aligns with the city's previous notification requirements. The second option (the "Required" option) specified that legal notice is published in the newspaper and that neighborhood notices are mailed at least 15 days prior to the public hearing.

The Commission discussed the pros and cons of both options. The general consensus of the Commission was that the "Courtesy" option would still provide adequate notice to the neighborhood while protecting applicants from unnecessary public hearing delays that could occur if there was an issue with or delay in the mailing system outside of the city and the applicant's control. The Commission found the amendments to be in the interest of public health, safety and welfare.

Commissioner Mohr made a motion, seconded by Commissioner Muehleck, to adopt the staff findings and analysis.

AYES: Daneberger; Krieger; McCann; Mohr; Muehleck, Chairperson Headean

NAYES: None.

Motion carried.

Commissioner Mohr made a motion, seconded by Commissioner Krieger, to recommend that the City Council approve the proposed text amendment and amend Division 17-5 to reflect the first notice option (the “Courtesy” option) provided by staff.

AYES: Daneberger; Krieger; McCann; Mohr; Muehleck, Stanczak Chairperson Headean

NAYES: None.

Motion carried.

OLD BUSINESS

None.

NEW BUSINESS

None.

ADJOURNMENT

Commissioner Krieger made a motion, seconded by Commissioner McCann, that the meeting be adjourned.

Motion carried (viva voce)

The meeting adjourned at 4:14 p.m.

CITY OF BLOOMINGTON

ATTEST

Chairperson Megan
Headean

Katie Simpson, City Planner

**CITY OF BLOOMINGTON
 REPORT FOR THE
 PLANNING COMMISSION
 AUGUST 26, 2020**

CASE NUMBER:	SUBJECT PROPERTY:	TYPE:	SUBMITTED BY:
Z-12-20	808 S Morris Ave	Rezone	Katie Simpson, City Planner
PETITIONER'S REQUEST:	Rezone the above referenced property from B-2, Local Commercial District to R-2 Mixed Residence District		
<i>Staff finds that the petitions meet the Zoning Ordinance's map amendment guidelines for the R-2 Mixed Residence District.</i>			

STAFF RECOMMENDATION: Approval

Staff recommends the Planning Commission take the following actions/pass the following motions:

- A. That the Planning Commission establish a findings of fact.
- B. That Planning Commission **recommend approval** of the rezoning of 808 S Morris Ave from B-2 to R-2.
- C. That the Planning Commission recommend City Council initiate the rezoning of 806 S Morris Ave and 829 W Elm Street from B-2, Local Commercial District to R-2, Mixed Residential District.



Figure 1. The subject property is outlined with a black line.



NOTICE

The application has been filed in conformance with applicable procedural requirements and public notice was published in *The Pantagraph* on Monday, August 10, 2020. Notices were mailed to property owners within 500 feet and a large metal sign was placed on the property.

GENERAL INFORMATION

Owner and Applicant: Kathleen McCain, on behalf of the estate of Donna Wade

PROPERTY INFORMATION

Existing Zoning: B-2 Local Commercial District
Existing Land Use: Single family home
Property size: 0.15 acres (72ft X 90ft)
PIN: 21-08-228-004

Surrounding Zoning and Land Uses

Zoning

North: R-2 Mixed Residence District
East: R-2 Mixed Residence District
East: B-2 Local Commercial District
South: B-2 Local Commercial District
South: B-1 General Commercial District
West: R-2 Mixed Residence District

Land Uses

North: Single- and two-family homes
East: Single- and two-family homes
East: Single family home
South: Parking Lot/Single family home
South: Auto service/restaurants
West: Single- and two-family homes

Analysis

This report is based on the following documents, which are on file with the Community Development Department:

1. Petition for Zoning Map Amendment
2. Aerial photographs
3. Zoning Map
4. Site visit

PROJECT DESCRIPTION

Background: 808 S. Morris is located at the northeast corner of the intersection of W. Elm Street and S. Morris Ave. Morris Avenue has an average of 5900 trips daily. W. Elm Street terminates and does not connect to streets east of Morris. The subject property is improved with a single-family home built in 1925. The subject property is adjacent to other single-family homes also built around the same period. The subject property is zoned B-2. Additionally, the properties at 806 S Morris and 829 W. Elm Street are also zoned B-2. Collectively, the commercial zoned parcels are approximately 20,000 square feet. The zoning appears to have been in place for multiple decades. The southeast corner of W. Elm Street and S. Morris Ave is also zoned B-2 and is improved with a parking lot



and single-family home. The southwest corner is zoned B-1 and is also improved with a single-family home. The business districts do not allow for single-family homes and the current uses are considered legal-nonconforming. The corners of W. Wood Street and S. Morris Ave are also zoned commercial.

It is common to zone the four corners of a busy intersection in a neighborhood with commercial. Local commercial uses can provide amenities and jobs to residential areas. The corners of W. Wood Street and Morris Ave. provide this neighborhood commercial.

Project Description: The long-time owner of 808 S. Morris Ave passed away in May 2020. The property has recently been purchased by a new owner. However, the commercial zoning and legal non-conforming status of the home, is making it difficult for the future owner to get financing and purchase the home. The applicant is requesting a zoning change from B-2 to R-2 to eliminate the non-conforming status of the property.

Purpose and Intent

B-2-Local Commercial District

The intent of this B-2 Local Commercial District is to provide retail, commercial and service establishments, including retail stores and personal service facilities, which serve the frequently recurring needs of surrounding local employment areas and residential neighborhoods. In addition to serving commercial purposes, this district encourages a mix of land uses, continued community investment through infill and site renovations, and a development form that supports mixed transportation modes, such as bicycle, pedestrian, and public transportation in addition to personal vehicles. Neighborhood shopping centers, particularly with a supermarket as a principal or anchor tenant, are appropriate at prominent intersections. The protection of surrounding residential properties from adverse impacts is a primary focus of this district.

R-2 Mixed Residence District: The R-2 Residence District is intended to accommodate development characterized by a mixture of housing types at a high single-family and a low multiple-family dwelling unit density. Densities of up to approximately 13 dwelling units per acre are allowed. This district allows for the conversion of dwelling units in older residential areas of mixed dwelling unit types in order to extend the economic life of these structures and allow owners to justify expenditures for repairs and modernization and serves as a zone of transition between lower density residential districts and residential districts that permit greater land use intensity and dwelling unit density

Link to Comprehensive Plan:

N-1.2d Identify and eliminate the barriers for infill development.

H-1.1 Ensure that the housing to accommodate the new growth is a broad range (of types, sizes, ages, densities, tenancies and costs) equitably distributed throughout the City recognizing changing trends in age-group composition, income, and family living habits.

FINDINGS OF FACT

The Zoning Ordinance has “*Zoning Map Amendment Guidelines*” and by states, “*In making its legislative determination to zone or rezone property to a B-2 Local Commercial zoning classification, the Planning Commission and City Council may apply the following guidelines to the proposal under consideration:*

1. *The suitability of the subject property for uses authorized by the existing zoning;* The subject property is less than an acre, and the commercial zoning on the corner is 20,000 square feet. To redevelop the property with a commercial use, the developer would need to provide parking and would most likely need to consolidate 808 S Morris with 806 S Morris and 828 W. Elm Street. Even after consolidation, the developable area will be small. The existing zoning is not suitable for the subject property and the adjacent homes.
2. *The length of time the property has remained vacant as zoned considered in the context of land development in the area;* the property has been used as a single-family home for over 30 years. The feasibility of redeveloping the property with a commercial use is low, and to date, there has been little or no market demand for commercial uses at this location.
3. *The suitability of the subject property for uses authorized by the proposed zoning;* The proposed zoning will allow the property to continue to be used as a single-family home. It also allows a future owner the option of improving the property by adding a second dwelling unit (if desired). The residential zoning is consistent with the neighborhood character and adjacent uses.
4. *The existing land uses and zoning of nearby property;* Neighborhood commercial is provided at the intersection of Wood and Morris Ave, and across the street. The adjacent zoning is residential. To redevelop the corners of W. Elm Street and Morris Ave with commercial could disrupt the neighborhood character. The proposed zoning is compatible with adjacent residential and protects the neighborhood character.
5. *Relative gain or hardship to the public as contrasted and compared to the hardship or gain of the individual property owner resulting from the approval or denial of the zoning amendment application;* The proposed zoning will eliminate a nonconforming status of the property, a current burden for financing. The zoning amendment will afford future owners the ability to invest in their homes and neighborhood.
6. *The extent to which adequate streets are connected to the arterial street system and are available or can be reasonably supplied to serve the uses permitted in the proposed zoning classification;* W. Elm Street is not suitable for commercial. The street terminates but no cul-de-sac exists. Large delivery trucks and commercial vehicles would not be able to turn around. The street is better suited for residential uses and the uses allowed in the proposed zoning district.
7. *The extent to which the proposed amendment is consistent with the need to minimize flood damage and the development of the subject property for the uses permitted in the proposed zoning classification will not have a substantial detrimental effect on the drainage patterns in the area;* the uses contemplated in the proposed zoning district require less impervious area than the uses allowed in the existing zoning.
8. *The extent to which adequate services (including but not limited to fire and police protection, schools, water supply, and sewage disposal facilities) are available or can be reasonable supplied to serve the uses permitted in the proposed zoning classification;*

The property is currently served by school, water, fire, police etc. the proposed zoning classification will have no change on this.

9. *The extent to which the proposed amendment is consistent with the public interest, giving due consideration for the purpose and intent of this Code as set forth in 17-1 herein; the proposed amendment is legalizing the existing use and existing structures, allowing for their continued use and operation.*
10. *The extent to which property values are diminished by the particular zoning restriction; the zoning amendment should protect property values as no changes are expected. Additionally, eliminating the nonconforming status will allow owners access to financing so they can reinvest in the area.*
11. *The extent to which the destruction of property values promotes the health, safety, morals, or general welfare of the public; the proposed zoning will eliminate a nonconforming use.*
12. *Whether a comprehensive plan for land use and development exists, and whether the ordinance is in harmony with it; The future land use map recognizes the four corners of Morris and Wood as commercial. The area surrounding this is residential. The proposed zoning aligns with the broader goals of the Comprehensive Plan such as preserving neighborhood property values and character.*
13. *And whether the City needs the proposed use; the proposed zoning is consistent with the existing uses and protects the neighborhood character.*

STAFF RECOMMENDATION: Staff finds the application meets the standards for a map amendment. Staff recommends that the Planning Commission also recommend Council initiate a map amendment for 806 S Morris and 829 W. Elm Street to amend the zoning on the entire northeast corner of W. Elm Street and Morris Ave.

That Planning Commission **recommend approval** of the rezoning of 808 S Morris Ave from B-2 to R-2 Mixed Residential District.

Respectfully submitted,
Katie Simpson, City Planner

Attachments:

- Draft Ordinance
- Petitions for Zoning Map Amendment
- List of Permitted Uses in the B-2 and R-2 Districts
- Aerial Map
- Zoning Map
- Newspaper Notice and Neighborhood Notice w/Map and Notification Mailing List

Ordinance NO. 2020 –

AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FOR PROPERTY LOCATED AT 808 S MORRIS AVE , APPROXIMATELY 0.15 ACRES, FROM B-2 LOCAL COMMERCIAL DISTRICT TO R-2 MIXED RESIDENCE DISTRICT

WHEREAS, there was heretofore filed with the Community Development Department of the City of Bloomington, McLean County, Illinois, a petition requesting to rezone the property commonly described as 808 S Morris Ave, legally described in Exhibit A and hereinafter referred to as "Property", which is attached hereto and made part hereof by this reference; and

WHEREAS, the Bloomington Planning Commission, after proper notice was given, conducted a public hearing on said petition to rezone the Property from B-2 Local Commercial District to R-2 Mixed Residence District and adopted findings of fact on the same; and

WHEREAS, the Bloomington Planning Commission found the petition to comply with the findings of fact guided by those purposes, standards and objectives of the City Code as set forth in Chapter 44 Division 17-6, E2; and

WHEREAS, following said public hearing, the Planning Commission recommended approval of rezoning of the Property and zoning map amendment to R-2 Mixed Residence District; and

WHEREAS, the City Council is authorized to adopt this Ordinance and approve the petition to rezone said Property.

NOW THEREFORE, BE IT ORDAINED by the City Council of the City of Bloomington, McLean County, Illinois:

1. that the petition requesting to rezone the property commonly described as 808 S Morris Ave., legally described in Exhibit A which is attached hereto and made part hereof by this reference, from B-2 Local Commercial District to R-2 Mixed Residence District is hereby approved.
2. That his Ordinance shall be in full force and effective as the time of its passage.

Passed on this _____ day of _____, 20____.

Approved on this _____ day of _____, 20____.

CITY OF BLOOMINGTON:

ATTEST:

Tari Renner, Mayor

Leslie Smith-Yocum, City Clerk

EXHIBIT A

Legal Description

808 S Morris Ave.

PIN: 21-08-228-004

LAWRENCE SUBN L16 SUBN NE 8 23 2E

S72' 10 & S72' W1/2 11

DRAFT

PETITION FOR ZONING MAP AMENDMENT

State of Illinois)
) ss.
County of McLean)

TO: THE HONORABLE MAYOR AND CITY COUNCIL OF THE CITY OF BLOOMINGTON, MC LEAN COUNTY, ILLINOIS

Now comes Kathleen D. McCain, hereinafter referred to as your petitioner(s), respectfully representing and requesting as follows:

1. That your petitioner(s) is (are) the owner(s) of the freehold or lesser estate therein of the premises hereinafter legally described in Exhibit A, which is attached hereto and made a part hereof by this reference, or is (are) a mortgagee or vendee in possession, assignee of rents, receiver, executor (executrix), trustee, lessee or other person, firm or corporation or the duly authorized agents of any of the above persons having proprietary interest in said premises;
2. That said premises legally described in Exhibit "A" presently has a zoning classification of B2 under the provisions of Chapter 44 of the Bloomington City Code, 1960;
3. That the present zoning on said premises is inappropriate due to error in original zoning, technological changes altering the impact or effect of the existing land uses, or the area in question having changed such that said present zoning is no longer contributing to the public welfare;
4. That your petitioner(s) hereby request that the Official Zoning Map of the City of Bloomington, McLean County, Illinois be amended to reclassify said premises into the Residential - R2 zoning district classification;
5. That said requested zoning classification is more compatible with existing uses and/or zoning of adjacent property than the present zoning of said premises; and
6. That said requested zoning classification is more suitable for said premises and the benefits realized by the general public in approving this petition will exceed the hardships imposed on your petitioner(s) by the present zoning of said premises.

29 2020

MAR 26 2020

JUL 29 2020

157031

WHEREFORE, your petitioner(s) respectfully pray(s) that the Official Zoning Map of the City of Bloomington, McLean County, Illinois be amended by changing the zoning classification of the above-described premises from From B2 TO Residential-R2

Respectfully submitted,

B: 

JUL 29 2020

127031

EXHIBIT A

PROPERTY ADDRESS: 808 S. MORRIS AVE., BLOOMINGTON, IL 61701

LEGAL DESCRIPTION: LAWRENCE SUBN L16 SUBN NE 8 23 2E S72' 10 & S72' W1/2
11

PIN# 21-08-228-004

FINDINGS OF FACT

The Zoning Ordinance has “Zoning Map Amendment Guidelines” Please answer the following:

1. *The suitability of the subject property for uses authorized by the existing zoning*

This property has been a resident for 30+ years

2. *The length of time the property has remained vacant as zoned considered in the context of land development in the area*

May 24th – Date of property owner death

3. *The suitability of the subject property for uses authorized by the proposed zoning*

Property is under contract to be used as a primary residence

4. *The existing land uses and zoning of nearby property*

All residential homes

5. *Relative gain or hardship to the public as contrasted and compared to the hardship or gain of the individual property owner resulting from the approval or denial of the zoning amendment application*

No hardship to community as it is a primary residential community

6. *The extent to which adequate streets are connected to the arterial street system and are available or can be reasonably supplied to serve the uses permitted in the proposed zoning classification*

Property is located on the corner of Morris Ave and Elm Street

7. *The extent to which the proposed amendment is consistent with the need to minimize flood damage and the development of the subject property for the uses permitted in the proposed zoning classification will not have a substantial detrimental effect on the drainage patterns in the area*

N/A

8. *The extent to which adequate services (including but not limited to fire and police protection, schools, water supply, and sewage disposal facilities) are available or can be reasonably supplied to serve the uses permitted in the proposed zoning classification*

Property will continue as a primary residents and services will continue as is

9. *The extent to which the proposed amendment is consistent with the public interest, giving due consideration for the purpose and intent of this Code as set for in § 44-1701*

No change to public as property will continue to be used as a residential

10. *The extent to which property values are diminished by the particular zoning restriction*

No Change

11. *The extent to which the destruction of property values promotes the health, safety, morals, or general welfare of the public*

No destruction

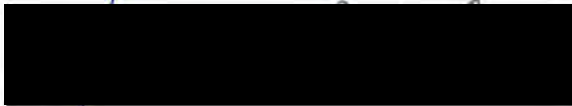
12. *Whether a comprehensive plan for land use and development exists, and whether the ordinance is in harmony with it*

N/A – will continue to be used as a residential

13. *Whether the City needs the proposed use*

N/A

PLEASE SUBMIT TO THE CITY OF BLOOMINGTON – PLANNING DIVISION



City of Bloomington, IL
Thursday, August 20, 2020

Chapter 44. Zoning

Article V. Business District Regulations

§ 44-502. [Ch. 44, 5-2] Permitted uses.

Refer to Article **XVII**, Definitions, for clarity on the uses listed.

- A. Land uses. Uses are allowed in the Business Districts in accordance with Table 502A. The following key is to be used in conjunction with the Use Table.
- (1) Permitted uses. A "P" indicates that a use is considered permitted within that district as of right subject to compliance with all other requirements of this Code.
 - (2) Special uses. An "S" indicates that a use is permitted, though its approval requires review by the City Council as required in Article **XVII**, subject to compliance with all other requirements of this Code and contingent upon conditions of approval which may be imposed by the City.
 - (3) Uses not permitted. A blank space or the absence of the use from the table indicates that the use is not permitted within that district.
 - (4) Use regulations. Many allowed uses, whether permitted by right or as a Special Use, are subject to compliance with Article **XVII**.
 - (5) Unlisted uses. If an application is submitted for a use not listed, the Zoning Enforcement Officer shall make a determination as to the proper zoning district and use classification for the new or unlisted use. If no permitted or special use is similar in character, intensity, and operations to that of the proposed use, a text amendment may be initiated pursuant to Article **XVII** to establish parameters for permitting such use within the City of Bloomington.

B. Allowed Uses Table.

	B-1	B-2	C-1	D-1	D-2	D-3	Reference
Agricultural							
Forestry	P	P					
Horticultural Services	P	P					
Urban Agriculture						P	
Urban Garden					P	P	
RESIDENTIAL							
Household Living							
Dwelling Unit, Single-Family				P ²		P ¹	

Table 502A: Business Districts - Permitted and Special Uses							
	B-1	B-2	C-1	D-1	D-2	D-3	Reference
Dwelling Unit, Single-Family Attached			S		P	P ¹	
Dwelling Unit, Two-Family		P ¹	S	P ²	P	P ¹	
Dwelling Unit, Multiple-Family		P ¹	S	P ²	P	P	
Live/Work Unit			S	P ²	P	P	
Group Living							
Agency Supervised Homes			S	P ²	P		§ 44-1019
Agency-Operated Family Homes			S	P ²	P		§ 44-1019
Agency-Operated Group Homes			S	P ²	P	P ¹	§ 44-1019
Convents, Monasteries			P				§ 44-1019
Dormitories			S		S		§ 44-1019
Group Homes for Parolees			S	S	S	S	§ 44-1019
INSTITUTIONAL							
Education							
Pre-schools	P	P	P		S		
Business and Trade Schools	P		P				
College and University Classrooms			P		S		
Government							
Courthouses				P			
Government Services and Facilities	P	P	P	P	P	P	
Police Stations, Fire Stations	P	P	P	P	P	P	
Religious							
Place of Worship	S ²		P ²	P ²	P ²		
Health							
Ambulatory Surgical Treatment Center	P	P	P	P			
Hospital or Medical Center	S		S				
Residential-Type							
Domestic Violence Shelter	P		P	P	P		
Home for the Aged			P		S		§ 44-1019
Other Institutional, Cultural							

Table 502A: Business Districts - Permitted and Special Uses							
	B-1	B-2	C-1	D-1	D-2	D-3	Reference
Clubs and Lodges	P	P	P	S	P		§ 44-1012
Food Pantry	P	P	P		P		§ 44-1018
Libraries			P	P	P		
Museums and Cultural Institutions			P	P	P	P	
Zoos	S						
RECREATIONAL							
Country Clubs, Golf Clubs, Golf Courses			P				§ 44-1016
Community Center			P	P	P	S	§ 44-1013
Fairgrounds, Agricultural Exhibits	S						§ 44-1017
Parks and Recreation Facilities	P	P	P	P	P	P	
Riding Stables, Riding Schools	S						
Swimming Clubs	P	P					
Swimming Pools, Community	P	P	P				§ 44-1032
COMMERCIAL							
Aircraft and Automotive							
Car Wash	P ³	S					§ 44-1009
Farm Machinery Sales and Service	P ³						
Towing Services							
Truck Stops, Truck Plazas	S						
Truck Wash	S						
Vehicle Fueling Station	P	S					
Vehicle Repair and Service	S						§ 44-1034
Vehicle Rental Service	P ³						
Vehicle Sales and Service	S						
Entertainment and Hospitality							
Amusement Parks	S						
Commercial Recreation Facilities	P	P		S			§ 44-1015
Community Reception Establishments					S		§ 44-1014
Entertainment and Exhibition Venues	P ³				S		

Table 502A: Business Districts - Permitted and Special Uses							
	B-1	B-2	C-1	D-1	D-2	D-3	Reference
Miniature Golf Courses	P						
Sexually Oriented Entertainment Businesses	p ⁵						
Sports and Fitness Establishments	P	P	P	P	S	S	§ 44-1013
Theaters and Auditoriums	P			P		S	
Lodging							
Bed-and-breakfast Establishments		P	p ⁶	P	P		§ 44-1007
Boarding and Rooming Houses		P		P	S		§ 44-1019
Camp and Camping Establishments	S						§ 44-1008
Hotel or Motel	P			P	S	S	§ 44-1021
Offices							
Financial Services	P	P	P	P	P		
General Offices, Business or Professional	P	P	P	P	P	P	
Medical or Dental Office or Clinic	P	P	P	P	P		§ 44-1024
Medical Laboratory	P	P	P				
Printing, Copying and Mailing Services	P	P	P	P	P	P	
Recording and Broadcast Studios	P		p ⁷	P		P	
Research Facility or Laboratory	S		S			P	
Personal Services							
Clothing Care: Tailor, Dry Cleaning, Coin Laundry, Shoe Repair, etc.	P	P	p ⁷	P	P	P	
Funeral Parlor, Mortuary	P	P	P		S		
Instructional Studios	P	P	p ⁷	P	P	P	
Kennels, with no outdoor exercise areas	p ³	p ³	p ³			p ³	
Kennels, with outdoor exercise areas	S						
Personal Care: Barber Shop, Beauty Salon, Day Spa, etc.	P	P	p ⁷	P	P	P	

Table 502A: Business Districts - Permitted and Special Uses							
	B-1	B-2	C-1	D-1	D-2	D-3	Reference
Pet Care: Grooming, Day Care, Training	P	P	P	P	P	P	
Veterinary Office or Clinic	P	P	S		P		§ 44-1035
Day-care centers	P	P	P		S		
Retail and Service							
Artisanal/Craft Production and Retail	P	P		P	P	P	
Auction Houses	P					P	
Bars, Taverns, Nightclubs	P ³	S	P ⁷	P	S	P	
Building Materials and Supplies	P						
Catering Services	P	P				P	
Drive-Through, attached to a retail or service use	P ³	P ³	S			S	
Drug Stores and Pharmacies	P	P	S	P	P		
Farmers Market				P			
Grocery Stores, Supermarkets	P	P					
Gun Shops	P ³	P ³					
Liquor Stores	P	P	P ⁷				
Manufactured and Mobile Home Sales	S						§ 44-1023
Medical Marijuana Dispensing Organization	P	P	P	P	P	P	
Mobile Food and Beverage Vendor	P	P	P	P		P	§ 44-1027
Restaurants	P	P	P ⁷	P	P	P	
Retail Sales, General	P	P	P ⁷	P	P	P	
Retail sales, Outdoor	P	S		S		P	
Roadside Markets	P						
Sexually Oriented Business	P ⁵						
Specialty Food Shops	P	P	P ⁶	P	P	P	
INDUSTRIAL							
Manufacturing and Production, Light							
Apparel, Fabrics, Leather Industries						P	
Commercial Cleaning and Repair Services	P		P				

Table 502A: Business Districts - Permitted and Special Uses							
	B-1	B-2	C-1	D-1	D-2	D-3	Reference
Commercial Community Kitchen			P	P	S	P	
Electronics Assembly Plants							
Fabricated Metal Industries						S	
Furniture and Fixtures Industries						S	
Trade and Construction Services	P	P				P	
Storage and Equipment Yards							
Mini Warehouses	S						§ 44-1026
Parking Lot, Commercial	S	S	S	S		S	
Transportation							
Bus and Taxi Passenger Terminals	S			S			
Heliports, Heliport Terminals	S		S				
Rail Passenger Terminals	P			P			
Utilities							
Commercial Solar Energy Conversion Facilities	P	P				P	§ 44-1031
Private Solar Energy Conversion Facilities	P	P	P	P	P	P	§ 44-1031
Private Wind Energy Conversion Facilities	P	P					§ 44-1036
Public or Private Utility Facility, Minor	P	P	P	P	P	P	
Radio, Television Stations-Towers	P			P		P	
Wireless Communication Facilities	P	P	P	P	P	P	§ 44-1037

Notes:

1. A Special Use is required when the use adjoins a Residential District boundary line.
2. The use is permitted only when located above the first story above grade
3. Maximum permitted height is 45 feet or three stories, whichever is lower.
4. A Special Use is required when the use adjoins a Residential District boundary line.
5. The use is allowed in the zoning district represented by that column provided that no lot line of the lot to be occupied by such use shall be located closer than 1,000 feet to the lot line of a lot occupied by a Sexually Oriented Entertainment Business, or other Sexually Oriented Business, and further provided that no lot line of the lot to be occupied by such use

shall be located closer than 500 feet to the lot line of a lot used for a Commercial Recreation Facility, a Day-care center, children's museum, Agency-Operated Family Home, Agency-Operated Group Home, Agency-Supervised Home, hobby shop or toy store, Pre-school, Public or Private School, Boarding School, Park or Recreation Facility, Sports and Fitness Establishment, Community Center, Place of Worship, Residential Dwelling Unit, Hospital or Zoo.

6. The use is allowed in that zoning district only as an accessory use occupying not more than 40% of the floor area of any story within a Business, Office or Residential Building or combination thereof;
7. The use is allowed in that zoning district only as an accessory use occupying not more than 25% of the floor area of any story within an Office or Residential Building or combination thereof;

Select Language | ▼

*City of Bloomington, IL
Thursday, August 20, 2020*

Chapter 44. Zoning

Article IV. Residential District Regulations

§ 44-402. [Ch. 44, 4-2] Residential districts - permitted and special uses.

Refer to Article **XVI**, Definitions, for clarity on the uses listed.

A. Land uses. Uses are allowed in the Residential Districts in accordance with Table 402A. The following key is to be used in conjunction with the Use Table.

- (1) Permitted uses. A "P" indicates that a use is considered permitted within that district as of right subject to compliance with all other requirements of this Ordinance.
- (2) Special uses. An "S" indicates that a use is permitted, though its approval requires review by the City Council as required in Article **XVII**, subject to compliance with all other requirements of this Code and contingent upon conditions of approval which may be imposed by the City.
- (3) Uses not permitted. A blank space or the absence of the use from the table indicates that the use is not permitted within that district.
- (4) Use regulations. Many allowed uses, whether permitted by right or as a Special Use, are subject to compliance with Article **XVII**.
- (5) Unlisted uses. If an application is submitted for a use not listed, the Zoning Enforcement Officer shall make a determination as to the proper zoning district and use classification for the new or unlisted use. If no permitted or special use is similar in character, intensity, and operations to that of the proposed use, a text amendment may be initiated pursuant to Article **XVII** to establish parameters for permitting such use within the City of Bloomington.

B. Allowed Uses Table.

Table 402A: Residential Districts - Permitted and Special Uses									
	R-1A	R-1B	R-1C	R-1H	R-2	R-3A	R-3B	R-4	Reference
Agricultural									
Apiary/Bee Keeping	P	P	P	P	P	P	P	P	§ 44-1005
Chicken Keeping	S	S	S	S	S	S	S	S	§ 44-1011
Urban Agriculture						S	S		
Urban Garden			P	P	P	P	P	P	
RESIDENTIAL									

Table 402A: Residential Districts - Permitted and Special Uses									
	R-1A	R-1B	R-1C	R-1H	R-2	R-3A	R-3B	R-4	Reference
Household Living									
Dwelling Unit, Single-Family	P	P	P	P	P	P	P		
Dwelling Unit, Single-Family Attached					S	P	P		
Dwelling Unit, Two-Family			S	S	P	P	P		
Dwelling Unit, Multiple-Family					S	P	P		
Manufactured Homes				P				P	
Mobile Homes								P	
Dwelling Unit, Accessory									
Live/Work Unit							S		
Group Living									
Agency Supervised Homes			P	P		S	S		§ 44-1019
Agency-Operated Family Homes	P	P	P	P	P	P	P		§ 44-1019
Agency-Operated Group Homes					S	P	P		§ 44-1019
Convents, Monasteries					S	S	P		§ 44-1019
Dormitories					S	S	P		§ 44-1019
Group Homes for Parolees	S	S	S	S	S	S	S	S	§ 44-1019
INSTITUTIONAL									
Education									
Pre-schools	S	S	S		S	S	S	S	
Government									
Government Services and Facilities	P	P	P		P	P	P	P	
Police Stations, Fire Stations	P	P	P		P	P	P	P	
Religious									
Place of Worship	S ¹	S ¹	S ¹	S ¹	S ¹	S ¹	S ¹	S ¹	
Cemetery and Columbarium	S	S	S	S	S	S	S	S	§ 44-1010
Residential-Type									
Domestic Violence Shelter					P	P	P		
Home for the Aged						S	S		§ 44-1019

Table 402A: Residential Districts - Permitted and Special Uses									
	R-1A	R-1B	R-1C	R-1H	R-2	R-3A	R-3B	R-4	Reference
Other Institutional, Cultural									
Clubs and Lodges							S		
Food Pantry							S		§ 44-1018
RECREATIONAL									
Country Clubs, Golf Clubs, Golf Courses	S	S	S	S	S	S	S	S	§ 44-1012
Community Center						S	S	S	§ 44-1013
Parks and Recreation Facilities	P	P	P	P	P	P	P	P	
Swimming Clubs						S	S	S	
Swimming Pools, Community	S	S	S	S	S	S	S	S	§ 44-1032
COMMERCIAL									
Entertainment and Hospitality									
Sports and Fitness Establishments						S	S	S	§ 44-1013
Lodging									
Bed-and-breakfast Establishments						S	S		§ 44-1007
Boarding and Rooming Houses					S	S	P		§ 44-1019
Offices									
Medical or Dental Office or Clinic							S		§ 44-1024
Medical Laboratory							S		
Personal Services									
Clothing Care: Tailor, Dry Cleaning, Coin Laundry, Shoe Repair, etc.							S ²	S ²	
Personal Care: Barber Shop, Beauty Salon, Day Spa, etc.							S ²	S ²	
Day-care centers	S	S	S	S	S	S	S	S	
Retail and Service									
Drug Stores and Pharmacies							S ²	S ²	

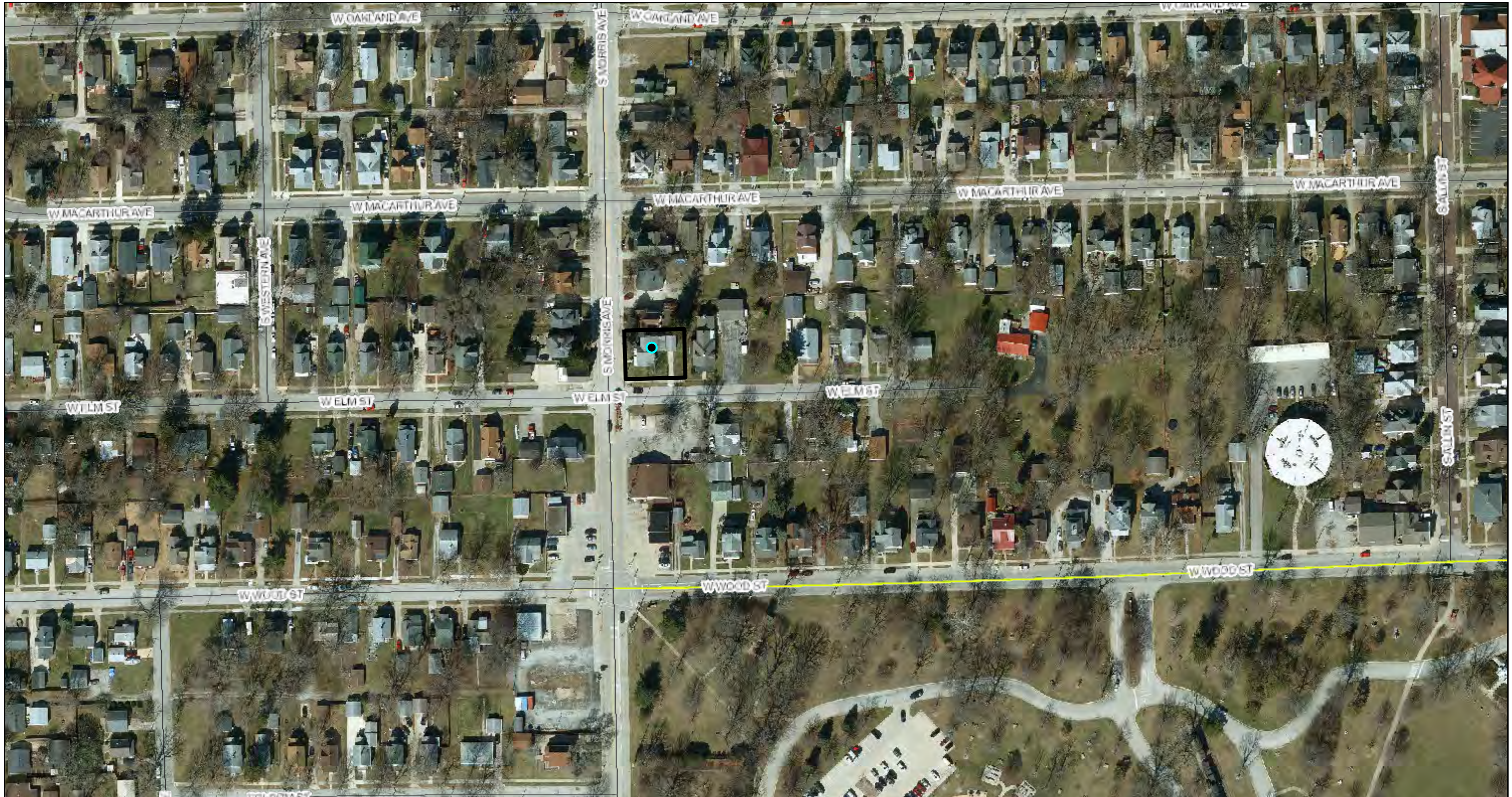
Table 402A: Residential Districts - Permitted and Special Uses									
	R-1A	R-1B	R-1C	R-1H	R-2	R-3A	R-3B	R-4	Reference
Grocery Stores, Supermarkets							S ²	S ²	
INDUSTRIAL									
Utilities									
Public or Private Utility Facility, Minor	P	P	P		P	P	P	P	
Private Solar Energy Conversion Facilities	P	P	P		P	P	P	P	§ 44-1031
Wireless Communication Facilities	S	S	S		S	S	S	S	§ 44-1037

Notes:

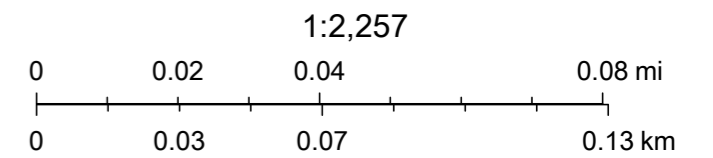
1. Maximum permitted height is 45 feet or three stories, whichever is lower.
2. The use shall be located within a building containing multiple-family or office uses in the R-3B District and shall not be permitted within a Mobile Home or Dwelling Unit in the R-4 District. The maximum permitted floor area is 1,600 square feet for Clothing Care; 1,000 square feet for Personal Care or 5,000 square feet for Drug Stores, Pharmacies, and Grocery Stores

Select Language | ▼

Aerial Map 808 S Morris Ave

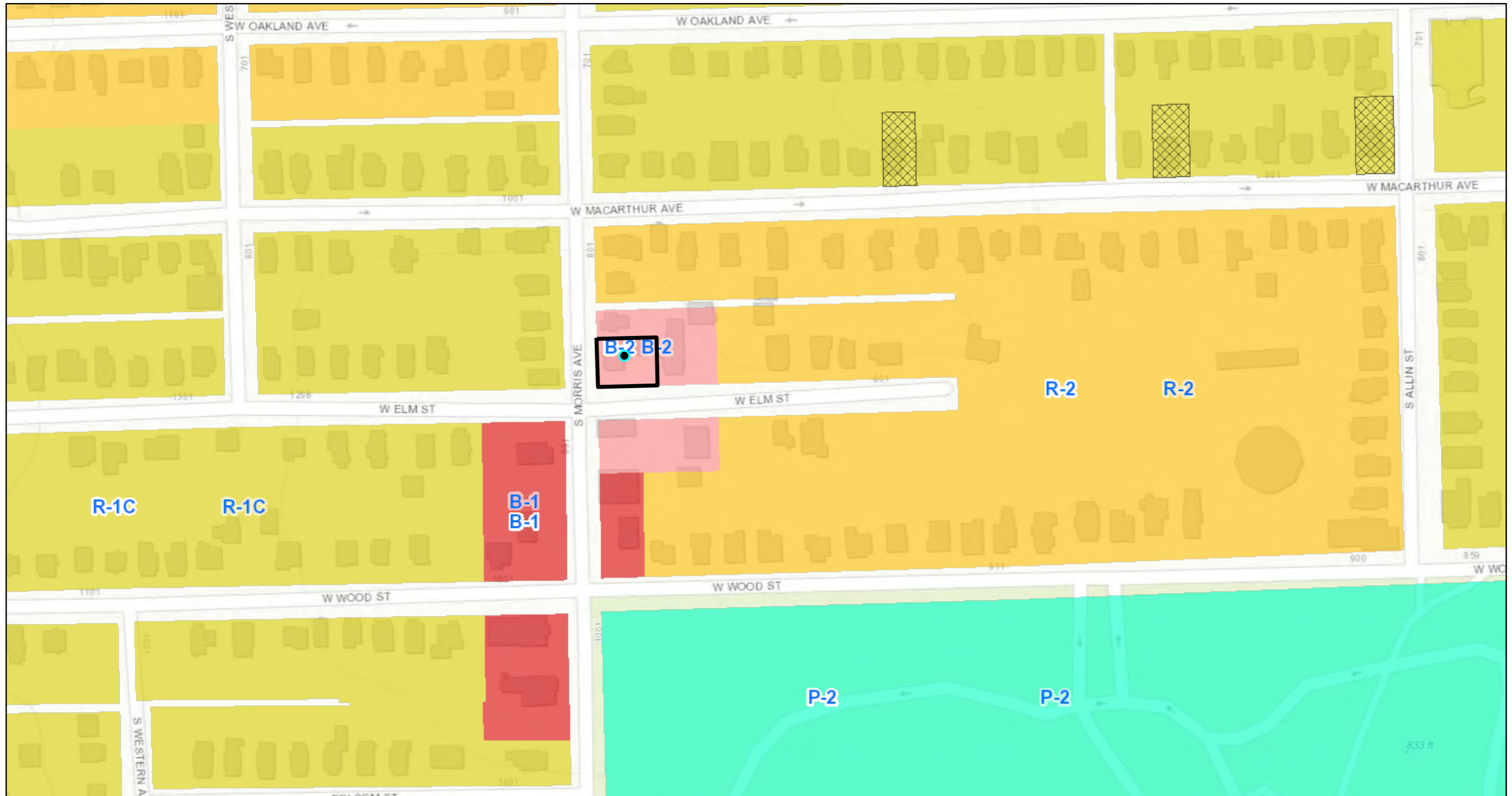


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City of Bloomington, McGIS, <http://www.McGIS.org/License>, Mclean County Museum of History

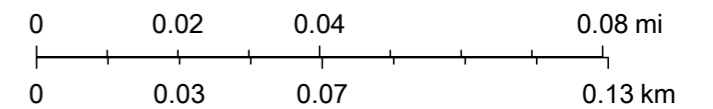
Zoning Map 808 S Morris Ave



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Downs	R-3	M-1	Colfax	C-PD	Bloomington	C-1 Office District
AG	Lexington	Danvers	AG	C-SC	A Agricultural	D-1 Central Business District
C-1	O-1	C	C	C-V	P-1 University District	D-2 Downtown Transition District
C-2	R-1	GOV	C-CH	M	P-2 Public Land and Institutions	D-3 Downtown Warehouse and Arts District
PUBLIC	R-2	I	C-FD	R-1	P-3 Airport District	M-1 Restricted Manufacturing District
R-1	B-1	O	C-ML	R-2	B-1 General Commercial District	M-2 General Manufacturing District
R-2	B-2	R	C-MT		B-2 Local Commercial District	

1:2,257



City of Bloomington, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User

Web AppBuilder for ArcGIS

87263

PUBLIC HEARING

A Public Hearing before the Bloomington Planning Commission will be held virtually on Wednesday, August 26, 2020 at 4:00 PM at [www.cityblm.org /live](http://www.cityblm.org/live) on an application to rezone 808 S. Morris, Bloomington, IL 61701 (owned by the Estate of Donna Wade) from B-2 Local Commercial to R-2 Mixed Residence District. The rezoning application was submitted by Kathleen McCain, Executor of Donna Wade's Estate. The subject property is legally described as: LAWRENCE SUBN L16 SUBN NE 8 23 2E S72' 10 & S72' W11/2

11 (Pin 21-08-228-004). The application is available for review online <https://www.cityblm.org/planning>. To provide testimony on this item please register at least 15 minutes in advance of the start of the meeting at <https://www.cityblm.org/register>. Public comments can also be emailed at least 15 minutes prior to the start of the meeting to publiccomment@cityblm.org. Members of the public may also attend the meeting at City Hall at 109 E. Olive Street, Bloomington IL 61701. Physical attendance will be limited to the lesser of 50 persons or 50% of room capacity and will require compliance with City Hall COVID-19 protocols and social distancing. The rules for participation by physical attendance may be subject to change due to changes in law or to executive orders relation to the COVID-19 pandemic occurring after the publication of this notice. Changes will be posted at www.cityblm.org/register. This hearing will be accessible to individuals with disabilities in compliance with the ADA and other applicable laws. For special needs please contact the City Clerk at 109 E. Olive St., Bloomington, (309) 434-2240, cityclerk@cityblm.org or TTY at (309) 829-5115.

Published: Monday, August 10, 2020



Department of Community Development 115 E
Washington St, Ste 201
Bloomington IL 61701
(309)434-2226
planning@cityblm.org

August 10, 2020

Dear Property Owner or Occupant:

The Planning Commission of the City of Bloomington, Illinois, will hold a virtual public hearing on Wednesday, August 26, 2020 at 4:00 PM at www.cityblm.org/live on an application submitted by Kathleen McCain, Executor of Donna Wade's Estate.

You are receiving this notice because you own or occupy property within a 500-foot radius of the subject property (refer to attached map). All interested persons may present evidence or testimony regarding said petitions, or ask questions related to the petitioner's requests at the scheduled public hearing.

The applicant is requesting a public hearing and action to rezone 808 S. Morris, Bloomington, IL 61701 (owned by the Estate of Donna Wade) from B-2 Local Commercial to R-2 Mixed Residence District.

The Subject Property is legally described as: LAWRENCE SUBN L16 SUBN NE 8 23 2E S72' 10 & S72' W1/2 11 PIN (21-08-228-004).

The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at www.cityblm.org/planning. To provide testimony on this item please register at least 15 minutes in advance of the start of the meeting at <https://www.cityblm.org/government/boards-commissions/register-for-public-comment>. Public comments can also be emailed at least 15 minutes prior to the start of the meeting to publiccomment@cityblm.org. Members of the public may also attend the meeting at City Hall. Physical attendance will be limited to the lesser of 50 persons or 50% of room capacity and will require compliance with City Hall Covid-19 protocols and social distancing. The rules for physical attendance may be subject to change due to changes in law or to executive orders related to the COVID-19 pandemic occurring after delivery of this notice. Changes will be posted at www.cityblm.org/register. This hearing will be accessible to individuals with disabilities in compliance with the ADA and other applicable laws. For special needs or accessible questions please contact the City Clerk at 109 E. Olive St., Bloomington, (309) 434-2240, cityclerk@cityblm.org or TTY at (309) 829-5115, preferably no later than five days before the hearing.

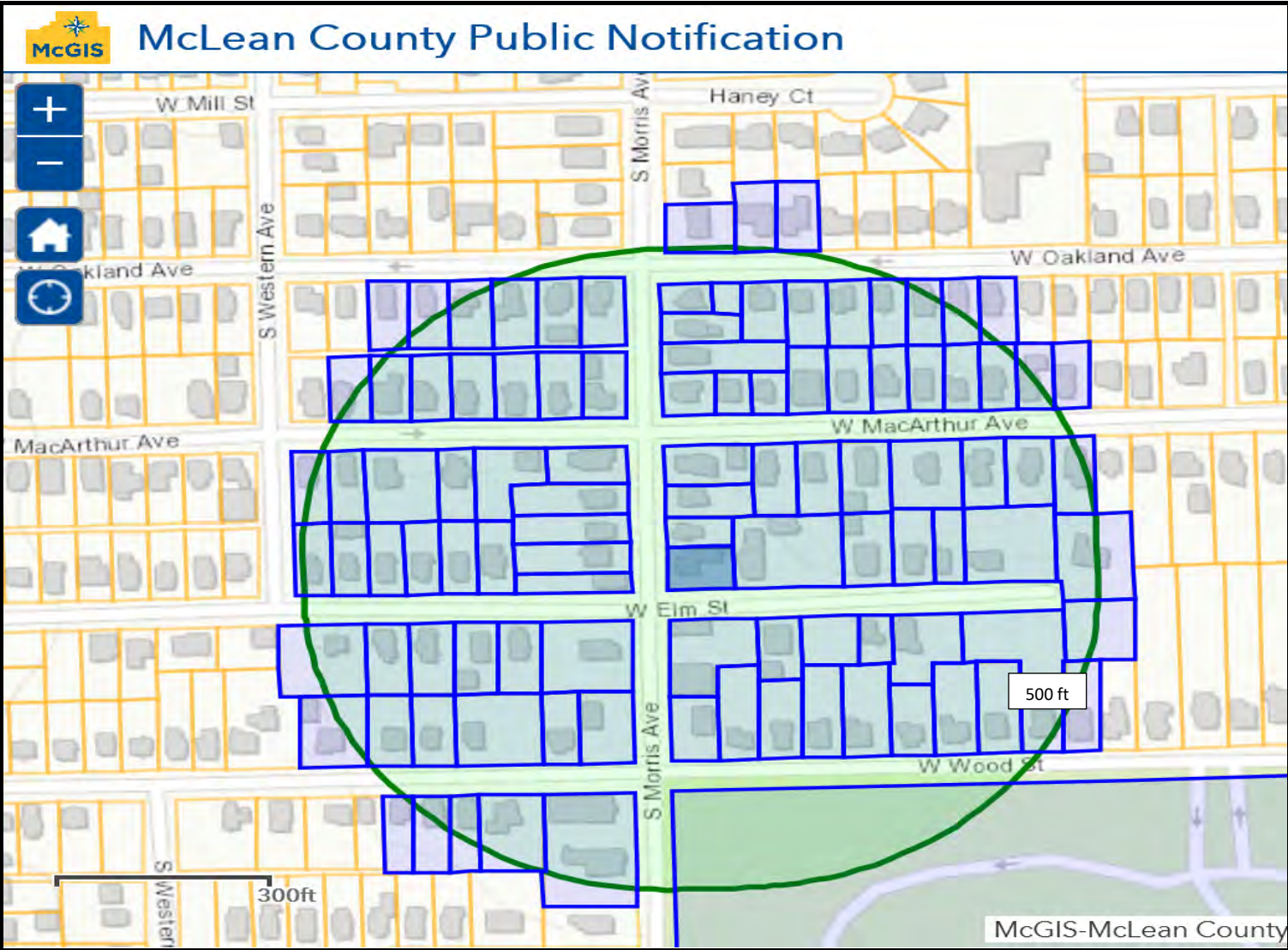
If you desire more information regarding the proposed petitions or have any questions, you may email planning@cityblm.org or call (309) 434-2226. Please note this meeting could be subject to change based on a lack of quorum or other reasons. Notice of a change will also be posted online at www.cityblm.org.

Sincerely,

Planning Division staff

Attachment: Map of notified properties within 500 ft of subject property

Public Hearing August 26, 2020 for Map Amended Petition for 808 S. Morris



first_name last_name	address1 address2	city state_code zip_code
JUSTIN LONG	830 W OAKLAND AVE	BLOOMINGTON, IL 61701
DAVID & LINDA FRISCH	832 W OAKLAND AVE	BLOOMINGTON, IL 61701
KARL ARTHUR KEIST	1007 W MACARTHUR AVENUE	BLOOMINGTON, IL 61701
JARED KELCH	1012 W MACARTHUR AVE	BLOOMINGTON, IL 61701
TIMOTHY STUEPFERT	1014 W MACARTHUR AVE	BLOOMINGTON, IL 61701
CHAMBER PROPERTIES RS LLC	1102 1/2 W MACARTHUR AVE	BLOOMINGTON, IL 61701
CESARIO MURILLO	828 W OAKLAND AVE	BLOOMINGTON, IL 61701
ROSE SCHENK	910 W OAKLAND AVE	BLOOMINGTON, IL 61701
MICHAEL ODONNELL	912 W OAKLAND	BLOOMINGTON, IL 61701
LINDSEY ELLIS	1006 W MACARTHUR AVE	BLOOMINGTON, IL 61701
JOHN & SHELLI GARLAND	840 W OAKLAND AVE	BLOOMINGTON, IL 61701
BRIAN T & TRACY HAAS RILEY	205 WILLARD AVE	BLOOMINGTON, IL 61701
DANIEL TAYLOR	1215 W ELM ST	BLOOMINGTON, IL 61701
CHERYL SEIBER	1219 W ELM	BLOOMINGTON, IL 61701
SCOTT HIGHFILL	1304 1/2 W MARKET ST	BLOOMINGTON, IL 61701
WILLIAM & JASMINE SPOTTS	836 W OAKLAND AVE	BLOOMINGTON, IL 61701
MICHAEL KOHLENBERG	807 S MORRIS AVE	BLOOMINGTON, IL 61701
EAST WHITE OAK BIBLE CHURCH	11922 E 2000 NORTH RD	CARLOCK, IL 61725
DENNIS & TERESE PULLMAN	613 W MARKET ST	BLOOMINGTON, IL 61701
Ann & Preston Hill	1003 W Macarthur Ave	BLOOMINGTON, IL 61701
ZOELLER & BURCHAM PROPERTIES LLC	1808 SIX POINTS RD	BLOOMINGTON, IL 61705
ERIC LANGFORD	1009 W MACARTHUR	BLOOMINGTON, IL 61701
STANLEY WINTERROTH	204 VAN SCHOICK ST	BLOOMINGTON, IL 6170
TONY HANEY	17676 E 300 NORTH RD	HEYWORTH, IL 61745
TRACY NOVAK	131 S YALE AVE	VILLA PARK, IL 60181
JOSHUA WEWER	1003 W WOOD ST	BLOOMINGTON, IL 61701
LEA CLINE	931 W MACARTHUR AVE	BLOOMINGTON, IL 61701
RICHARD MCCORMICK	1507 N MAIN ST	BLOOMINGTON, IL 61701
MICHAEL WEBER	933 W MACARTHUR AVE	BLOOMINGTON, IL 61701
MANUEL CRISPIN	904 W OAKLAND AVE	BLOOMINGTON, IL 61701
CAROL SUE SYLVESTER	906 W OAKLAND	BLOOMINGTON, IL 61701
DONALD L JR & MONICA L FOGLER	1701 S CENTER ST	BLOOMINGTON, IL 61701
RICHARD MCCORMICK	1507 N MAIN ST	BLOOMINGTON, IL 61701
NOAH KILMER	1006 W WOOD ST	BLOOMINGTON, IL 61701
ERIC FRON	1006 1/2 W WOOD ST	BLOOMINGTON, IL 61701
AMBERLY & LARYSSA RICHARDS	915 W WOOD ST	BLOOMINGTON, IL 61701
MARK KING	PO BOX 1947	BLOOMINGTON, IL 61702
LEONARD WILLIAMS	923 W WOOD ST	BLOOMINGTON, IL 61701
STEVE RICHARDSON	1011 W MACARTHUR	BLOOMINGTON, IL 61701
ANNETTA MILLER	32 COUNTRY CLUB PL	BLOOMINGTON, IL 61701
RICHARD MILLER	930 W MACARTHUR AVE	BLOOMINGTON, IL 61701
GREGORY & LORETTA WAHL SWANK	932 W MACARTHUR	BLOOMINGTON, IL 61701
ALL SEASONS PROPERTIES LLC	208 PRAIRIE RIDGE DR	LEXINGTON, IL 61753
JAIME & YESENIA HARO	1412 DONEGAL DR	NORMAL, IL 61761
STEVEN MODINE	101 PHEASANT LN	HUDSON, IL 61748
LORETTA HOENIGES	939 W MACARTHUR AVE	BLOOMINGTON, IL 61701
RMAC TRUST 2016-CTT US BANK NA	15480 LAGUNA CANYON RD STE 10C	IRVINE, CA 92618

MICHAEL HOLLIDAY	801 S MORRIS AVE	BLOOMINGTON, IL 61701
WILLIAM SCHENK	1005 W MACARTHUR	BLOOMINGTON, IL 61701
JOE NEAL	1302 W ELM ST	BLOOMINGTON, IL 61701
DANIEL & SAMANTHA MCCORMICK	803 S MORRIS AVE	BLOOMINGTON, IL 61701
CATHARINE CROCKETT	1930 CROXTON AVE	BLOOMINGTON, IL 61701
RICHARD MCCORMICK	1507 N MAIN ST	BLOOMINGTON, IL 61701
MARGARET M KELLY FAMILY TRUST	921 W WOOD	BLOOMINGTON, IL 61701
ANASTASIA LONG	935 W MACARTHUR AVE	BLOOMINGTON, IL 61701
JAMES WALKER	817 W ELM ST	BLOOMINGTON, IL 61701
DOLORES NICHOLS	917 W WOOD ST	BLOOMINGTON, IL 61701
JUSTIN LONG	317 E WASHINGTON ST	TOWANDA, IL 61776
SHIRLEY GILLENWATER	822 W ELM ST	BLOOMINGTON, IL 61701
JAMILLAH GILBERT	929 W MACARTHUR	BLOOMINGTON, IL 61701
WILLIAM LUDWIG	923 1/2 W WOOD ST	BLOOMINGTON, IL 61701
MICHAEL & CRYSTAL HEARNE	833 W OAKLAND AVE	BLOOMINGTON, IL 61701
STEVE FRICKE	108 HAMMITT DR	NORMAL, IL 61761
PENNY & DAVID SAPP	17470 AIR STRIP RD	HUDSON, IL 61748
ARDYS SERPETTE	919 W WOOD ST	BLOOMINGTON, IL 61701
KENNETH LANE	1205 W ELM ST	BLOOMINGTON, IL 61701
CARRIE ANNE HANDY	1209 W ELM ST	BLOOMINGTON, IL 61701
DONNA WADE	808 S MORRIS AVE	BLOOMINGTON, IL 61701
ALFONSO & KETRA MOORE	908 W OAKLAND AVE	BLOOMINGTON, IL 61701
MICHAEL STRUCK	15920 SUNFLOWER RD	HEYWORTH, IL 61745
BETH HALL	706 S MORRIS AVE	BLOOMINGTON, IL 61701
LUKE MCCLINTOCK	902 W OAKLAND AVE	BLOOMINGTON, IL 61701
JAMES BAYS	1210 W ELM ST	BLOOMINGTON, IL 61701
MICHAEL FLOYD	703 S MORRIS AVE	BLOOMINGTON, IL 61701
JOHN ARMSTRONG	2 WHITE CLIFF CT	BLOOMINGTON, IL 61705
SEAN HARBISON	1412 S MCLEAN ST	HUDSON, IL 61748
STEVE & ANITA BEAMAN HUCHEL	1214 WEST ELM ST	BLOOMINGTON, IL 61701
C DEANE HINSHAW	925 W WOOD ST	BLOOMINGTON, IL 61701
LINDA LOU STILL	1211 W ELM	BLOOMINGTON, IL 61701
FERNANDO HARO	608 S MORRIS AVE	BLOOMINGTON, IL 61701
ARTHUR & ARITHA GARRISON	835 W OAKLAND AVE	BLOOMINGTON, IL 61701
SASCO MORTG LOAN TRUST 2002-12	8950 CYPRESS WATERS BLVD	COPPELL, TX 75019
DEBRA HAWKINS	610 DIXON AVE	EL PASO, IL 61738
ALL SEASONS PROPERTIES LLC	1312 N MAIN ST	BLOOMINGTON, IL 61701
ROBERT & WANDA BAILEY	708 S MORRIS AVE	BLOOMINGTON, IL 61701
DEBRA HAWKINS	610 DIXON AVE	EL PASO, IL 61738
MITCHELL JUNIS	825 W ELM ST	BLOOMINGTON, IL 61701
TRACEY CHANDLER	926 W MACARTHUR ST	BLOOMINGTON, IL 61701
JAMES WALKER	821 W ELM ST	BLOOMINGTON, IL 61701
FRANCES TEVOERT	934 W MAC ARTHUR	BLOOMINGTON, IL 61701
WILLIAM WEISFUS	3201 PHILLIPS AVE	STEGER, IL 60475
JAMES WALKER	817 W ELM ST	BLOOMINGTON, IL 61701
JANET & ROGER SMITH	8765 N 2600 EAST RD	LE ROY, IL 61752
JACK & LYNETTE EDWARDS	9564 WALNUT WAY	BLOOMINGTON, IL 61705
DML REAL ESTATE	PO BOX 427	NORMAL, IL 61761

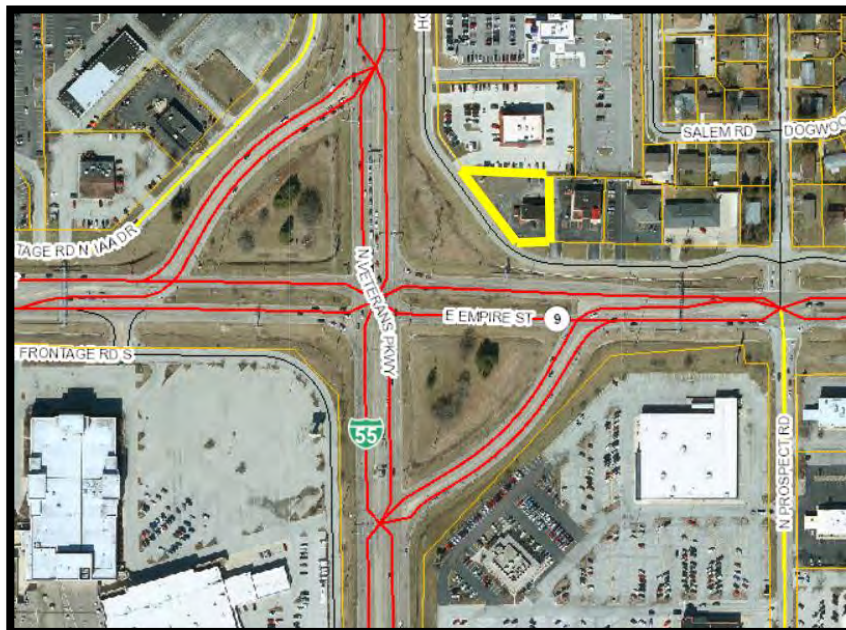
MICHAEL JAMES
MICHAEL POYNOR
JOHN ARMSTRONG
MIKE & SHIRLEEN SAPP
JOHN TAYLOR
STEVEN BARR
JOE CLOTHIER

829 W ELM ST
1602 TOMPKINS DR
2 WHITE CLIFF CT
827 W ELM
830 W ELM ST
916 W WOOD ST
906 S MORRIS

BLOOMINGTON, IL 61701
NORMAL, IL 61761
BLOOMINGTON, IL 61705
BLOOMINGTON, IL 61701
BLOOMINGTON, IL 61701
BLOOMINGTON, IL 61701
BLOOMINGTON, IL 61701

**CITY OF BLOOMINGTON
REPORT FOR THE PLANNING COMMISSION
August 26, 2020**

CASE NUMBER:	SUBJECT PROPERTY:	TYPE:	SUBMITTED BY:
PR-09-20	1209 Holiday Drive	Legislative Site Plan Review and Special Use	Planning Division
PETITIONER'S REQUEST:			
Special Use Permit:	A new oil change facility (vehicle service and repair)		
Site Plan Review:	Variances Requested: 1) 10' increase in the driveway width to allow a 40' drive (38.602B1); 2). 3' increase in building height for an overall height of 23'(44.1034E); 3). 19' decrease in required front yard setback for a 21' front yard (44.1034F); 4). 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F)		
<p><i>Staff finds that the application meets the Zoning Ordinance's guidelines for site plan review and Special Use.</i></p>			
STAFF RECOMMENDATION: Approval			
Staff recommends the Planning Commission pass the following motions recommending: That the City Council approve the Site Plan and Special Use for new oil change facility (vehicle service and repair) at 1209 Holiday Drive and the requested variances. Case PR-09-20).			



NOTICE

The application has been filed in conformance with applicable procedural requirements. Notice of the hearing was published in *The Pantagraph* on Monday, August 10, 2020. Notices were mailed to property owners within 500 feet of the site and a large metal sign was placed on the property.

GENERAL INFORMATION

Owner and Applicant: Mark Allen, Speed Lube 10 minute Oil Change Shops Inc.

PROPERTY INFORMATION

Existing Zoning: B-1 General Commercial District and S-1 Airport Noise Impact District
 Existing Land Use: Former Vehicle Repair and Service
 Proposed Use: Vehicle Repair and Service
 Lot size: 19,957 ft² (75' X 150')
 Property Information: B& E SUB LOT 1(PIN: 14-35-452-016)

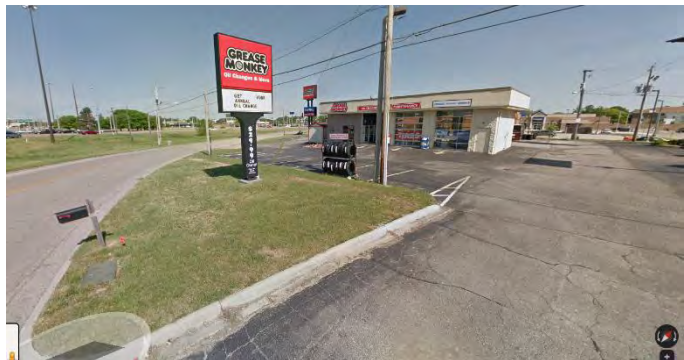
Surrounding Zoning and Land Uses

<u>Zoning</u>	<u>Land Uses</u>
North: B-1 General Commercial District with S-1 Airport Noise Impact District	North: Restaurant/Retail
East: B-1 General Commercial District with S-1 Airport Noise Impact District	East: Title Loan/Offices
South: B-1 General Commercial District with S-1 Airport Noise Impact District	South: Restaurants/Retail/Hotel
West: B-1 General Commercial District with S-1 Airport Noise Impact District	West: Restaurant/Retail/Hotel

PROJECT DESCRIPTION

Background: The subject property, 1209 Holiday Drive, also addressed as 1700 E Empire Street, is located just north of the intersection of Veterans Parkway and E. Empire Street/Route 9. Both Veterans Parkway and Empire Street/Route 9 are state controlled routes with 37,700 and 17,000 average trips daily, respectively. The subject property is accessed from Holiday Drive, a frontage road to Veterans Parkway. The subject property was improved with an oil service station in 1987. The property is zoned B-1 General Commercial District and falls within the S-1 Aircraft Noise Impact Zoning Overlay. The surrounding uses are also commercial and zoned B-1, General Commercial District. North of the subject property is a restaurant and car dealership. East of the property is a title loan facility and offices. South and west of the site are large retail campuses.

Photo: Former Service Station at 1209 Holiday Drive



Special Use and Site Plan review

Project Description: The subject property is located on the curve of Holiday Drive. It is a trapezoidal shaped lot. The lot is 190 feet wide at its longest side and 80 feet wide at its shortest side. The lot depth is approximately 150 ft. Last month, the oil service station on the property was demolished. The applicant is requesting a special use permit to construct a new 3,315 sqft Speed Lube vehicle oil service station on the site. The applicant also owns other Speed Lube oil service stations in Bloomington. The current lot has one entrance on Holiday Drive. The proposed site will have two entrances. The applicant is requesting a variance from Chapter 38 of the city code to allow the northern entrance to exceed the minimum drive requirements (10' increase in the driveway width to allow a 40' drive (38.602B1)). The southern entrance will remain but will be narrowed to facilitate one-way traffic. A third ingress is a shared access with the building east of the site. The ingress is located on the adjacent parcel. Both buildings and parcels are under common ownership, and the applicant has dedicated a cross-access easement to facilitate shared access between the two sites. The proposed building is T-shaped with a north-south orientation. The building faces Veterans Parkway. The building is approximately 23ft tall, with a metal roof, brick façade and four glass bay doors. Traffic circulation primarily flows east to west, through the service bays, and exiting onto Holiday Drive (See page C3.0 of the plans). The applicant will add sidewalk along Holiday Drive (which does not currently exist) and is including 4 bicycle parking spaces for employees and customers.

Section 10-34 of Chapter 44 of the City Code has additional requirements for Vehicle Service Stations:

Table 1034: Automobile Service Station Site and Bulk Standards					
A. No more than 2 vehicle service stations may be located on the quadrant of an intersection and the service station's location must be at least 120 ft from a residential boundary district.					
B. 1) No curb cuts shall be permitted within 10 feet of a side lot line or 20 feet of a street intersection. 2) Any area where inoperative vehicles are intended to be stored for a period of more than 10 days shall be fully screened in accordance with Article XIII of this Code to prevent such vehicles from being viewed from a public street or area. 3) All service equipment (lubrication equipment, hydraulic lifts, etc.) and repair and maintenance work shall be inside the principal building.					
C. Prohibited activities including sales of boats, RVs and farm implements; prohibited types of repairs that yield fumes, smoke, and noise					
D. Outdoor lighting must be directed away from residential districts and may not increase by more than ½ foot candle.					
E. Building Height limited to 20 ft or one story, whichever is less.					
F. Bulk Standards:					
Lot Standards			Site Design Standards		
Min. Lot Area	Min. Lot Width	Min. Lot Depth	Front Yard	Side Yard	Rear Yard
10,000 square feet	70 feet	n/a	40 feet	15 feet	20 feet

The applicant is also requesting the following variances:

1. 3' increase in building height for an overall height of 23'(44.1034E);
2. 19' decrease in required front yard setback for a 21' front yard (44.1034F);

Special Use and Site Plan review

3. 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F)

ANALYSIS

Submittals

This report is based on the following documents, which are on file at the Community Development Department:

1. Application
2. Site Plans
3. Photometric Plan
4. Aerial photographs

Special Use:

The B-1 General Commercial District anticipates a mix of businesses, entertainment establishments, and office located along major commercial corridors. Most customers will access these destinations via vehicle. The district looks at unified site planning and unified architectural treatment of buildings. Auto Service Stations require a special use permit in the district since these buildings and uses may, at times, be incompatible with larger retail facilities.

Staff is recommending in favor of the special use permit at 1209 Holiday Drive. Staff is also recommending in favor of the requested variances. The building previously existed as an oil change service station and the special use permit will not result in significant changes to the existing development. Further the proposed station is compatible with surrounding uses including the adjacent vehicle sales, and title loans use. The proposed facility is greater than 120 feet from a residential boundary line and would be the only station at the intersection of Route 9 and Veterans Parkway. Holiday Drive has the capacity to absorb the traffic generated by the oil service station, and the location is currently served by fire and police. The proposed business will provide an employment opportunity for nearby residents. The exterior treatment of the proposed building is compatible to the adjacent Title Loan and CarMax buildings. The proposed building has a metal roof, glass bay doors, and brick façade. A landscaping plan is included with the application materials. The applicant will provide foundation landscaping and front perimeter landscaping. The enhancements will improve the aesthetics of the corridor and soften the brick and metal facade. Further, the project results in a 2362 square foot decrease impervious surface area and an increase in pervious area which improves storm water runoff and management.



Special Use and Site Plan review

1. Variance--3' increase in building height for an overall height of 23'(44.1034E);

The building's soffit is 12' from the ground, the roof peak is 23ft from the ground. While the building exceeds the 20ft height requirement, the interior ceiling height meet city requirements. The 20' height regulation is to ensure the facility primarily services cars not larger trucks, boats or RVs. The additional height adds a decorative element to the building that encourages unified design with surrounding buildings. The additional height will also help increase visibility from Veterans Parkway. Staff is recommending in favor of this variance request.

2. Variance--19' decrease in required front yard setback for a 21' front yard (44.1034F);

The lot's irregular shape was created when Holiday Drive was installed. Further, as additional right-of-way is acquired to accommodate intersection improvements for Route 9 and Veterans Parkway, the lot continues to change. The size of the lot makes meeting the 40ft setback difficult. The site has physical hardship that makes strict adherence to the ordinance challenging, therefore staff is recommending in favor of the variance request.

3. Variance--10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F)

The property has a 20ft front yard easement that runs along Holiday Drive. Moving the building south cause the building to encroach into the 20ft easement. Additionally, moving the building could create visibility issues for vehicles entering and exiting onto Holiday Drive. The 20ft easement results in a physical hardship that makes strict adherence to the ordinance difficult. Staff is recommending in favor of this variance request.

4. Variance--10' increase in the driveway width to allow a 40' drive (38.602B1)

The Engineering Division has reviewed the request for the wider drive aisle. The subject property is located on a curve and ingress is challenging. The wider drive will facilitate safer maneuvering of garbage trucks, and larger vehicles. There is adequate distance between drives and the increased curb cut will improve visibility as vehicles turn onto Holiday Drive. Staff is recommending in favor of this variance request.

Compliance with the Comprehensive Plan:

The proposed project is an infill redevelopment opportunity along a major commercial corridor. The project will utilize existing infrastructure and aligns with the following goals of the Comprehensive Plan:

Goal ED.1 Ensure a broad range of employment opportunities for all residents
Objective ED.1-1 Focus on retention and expansion of existing businesses.

Goal ED.4 Enhance the image of Bloomington as a business-friendly community
Objective ED 4.2 Prioritize infill and redevelopment to spur growth and reinvestment in the City.
Action ED 42f Improve the appearance of the City's primary entrances.

Special Use and Site Plan review

The table below illustrates the zoning requirements and provided elements.

<i>Site Area</i>	19954 square feet		
<i>Building Area</i>	3315 square feet		
<i>Requirement</i>	<i>Allowed/Required</i>	<i>Provided</i>	<i>Deviance</i>
Max. FAR	0.8	0.16	Compliant
Min. Lot Width	70ft	80ft	Compliant
Min. Lot Area	None	19,954	Complaint
Front yard setbacks	40ft	21ft	-19ft
Side yard building setbacks	15ft	5ft	-10ft
Rear yard building setbacks	20ft	58.36ft	Compliant
Building Height	20ft	23ft	+3ft
Parking spaces	3 per bay (12 total including 1 ADA)	(11 including 1 ADA)	-1
Parking Adjustment	4 bicycles spaces = 1 parking space	4 bicycle spaces	+1 parking space
Bicycle Parking	Not required	4 spaces	+4 bicycle spaces
Minimum aisle widths	24ft	25ft	Compliant
Minimum parking stall dimensions (width/length)	8.5/18	8.5/19	Compliant
Parking lot perimeter landscaping (front/sides/rear)	12ft/6ft/NA	12ft/6ft/NA	Compliant
Building Foundation landscaping	Required	Provided	Compliant
Landscaping island required every 10 parking spaces	NA	NA	NA
5ft pedestrian path through parking lot to entrance	Required	Provided	Compliant
Dumpster screening	6ft minimum	Landscape screen provided	Compliant
Transitional yard landscaping	NA	NA	NA
Lighting Plan	Required	No new parking lot lighting proposed; fixture plan provided	Compliant
Storm water management	Storm water requirements apply.	Provided	Compliant (reduction in impervious surfaces)

Findings of Fact:

For concurrent site plan and special use applications, the Planning Commission shall report to the Council its findings of fact and recommendations, including the stipulations of additional conditions and guarantees, when they are deemed necessary for the protection of the public interest or to meet the standards as specified herein. No special use application shall be recommended by the Planning Commission for approval unless the Commission finds:

- 1. that the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare**
The proposed use is compatible with the adjacent business uses. An oil service station existed previously on this site. **The Standard is met.**

- 2. that the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;** The proposed

Special Use and Site Plan review

building is consistent in mass, height, and has design elements that make it compatible with surrounding properties. The use is also compatible. **The Standard is met.**

3. **that the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district;** The amount of traffic related to the proposed special use is consistent with other nearby uses. No change is expected from the previous use on the property. The roadway system is adequate. **The Standard is met.**
4. **that adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided;** The lot has adequate roads and utilities. The project is an infill redevelopment project that utilizes existing infrastructure. The proposed building and site reduce the amount of impervious surface area improving drainage. **The Standard is met.**
5. **that adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;** The site plan provides adequate vehicular circulation. Staff supports the variance for the wider entrance on the north. The applicant has decreased the size of the southern entrance and provided a cross access easement with the adjacent property. **The Standard is met.**
6. **that the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Planning Commission. (Ordinance No. 2006-137).** The building will undergo administrative review by the Engineering Division and Building Official. **The Standard is met.**

The Site Plan review process is intended to protect the public interest in safety, economy, and from adverse site development that may be detrimental to neighboring property owners and the surrounding area. The following standards and objectives shall guide the review of City staff, the Planning Commission, and the City Council in making a determination on the proposed Site Plan (44.17-9):

- A. *The extent to which potential incompatibilities between the proposed development and surrounding existing development and/or zoning is minimized by such design features as placement of buildings, parking areas, access driveways and existing or proposed topography.* The property is irregular shaped and on-site circulation is challenging. The applicant is proposing shared access to improve on-site circulation. **The Standard is met.**
- B. *The extent to which the proposal minimizes any adverse impact of the development upon adjoining land, including the hours of use and operation and the type and intensity of activities which may be conducted.* The proposed building's architectural features are compatible with surrounding buildings and the use is also compatible and consistent with the adjacent uses. The hours of operation and intensity of the development should not negatively impact adjacent properties. **The Standard is met.**

Special Use and Site Plan review

- C. *The extent to which adequately improved streets connected to the improved arterial street system are available or can be reasonably supplied to serve the uses proposed in the development.* The street system is adequate. **The Standard is met.**
- D. *The extent to which the proposed development will favorably or adversely affect other persons or property and, if so, whether because of circumstances peculiar to the location the effect is likely to be greater than is ordinarily associated with the development of the type proposed.* The proposed development is a redevelopment of a previous oil service station location. The investment will add value to the commercial corridor. Although the applicant is requesting variances from the ordinance, the property has physical characteristics that make strict adherence to the ordinance challenging. **The Standard is met.**

STAFF RECOMMENDATION:

Staff recommends the Planning Commission pass the following motions recommending: That the City Council approve the Site Plan and Special Use for new oil change facility (vehicle service and repair) at 1209 Holiday Drive and the requested variances. Case PR-09-20).

Respectfully submitted,
Katie Simpson,
City Planner

Attachments:

1. Draft Ordinance
2. Exhibit A- "Legal Description"
3. Exhibit B- Site Plans
4. Petition for site plan review
5. Zoning Map
6. Aerial Map
7. Newspaper publication and neighborhood notice

ORDINANCE NO 2020-____

AN ORDINANCE APPROVING AN APPLICATION SUBMITTED BY SPEED LUBE 10 MINUTE OIL CHANGE SHOPS INC REQUESTING APPROVAL OF A SPECIAL USE PERMIT AND LEGISLATIVE SITE PLAN REVIEW FOR AN OIL CHANGE/VEHICLE SERVICE STATION AT 1209 HOLIDAY DRIVE BLOOMINGTON IL 61704, ZONED B-1 GENERAL COMMERCIAL DISTRICT

WHEREAS, there was heretofore filed with the Community Development Department of the City of Bloomington, McLean County, Illinois, an application requesting approval of a special use permit and legislative site plan review for construction of a new oil change/vehicle service station in the B-1 General Commercial District for the land described in Exhibit "A", attached hereto and made a part hereof by this reference; and,

WHEREAS, after proper notice, the City of Bloomington Planning Commission held a public hearing and determined said special use permit and site plan represented in Exhibit "B" attached hereto and made a part hereby of this reference, aligned with the goals of the Comprehensive Plan; and,

WHEREAS, the Planning Commission found the special use and site plan meets the purposes of the zoning ordinance, more specifically the following:

1. that the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare;
2. that the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
3. that the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district;
4. that adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided;
5. that adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
6. that the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Planning Commission. (Ordinance No. 2006-137); and,

WHEREAS, the Planning Commission, after finding the property to have physical hardship that make strict adherence to the ordinance difficult, and finding that the requested variance would not be injurious to surrounding properties, recommended approval of the following variances:

1. A 10' increase in the driveway width to allow a 40' drive (38.602B1);
2. A 3' increase in building height for an overall height of 23'(44.1034E);
3. A 19' decrease in required front yard setback for a 21' front yard (44.1034F);
4. A 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F)

WHEREAS, the Planning Commission recommended the City Council of the City of Bloomington approve said special use permit and site plan; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Bloomington, McLean County, Illinois:

1. That the special use permit for an oil change/vehicle service station is hereby approved.
2. That the site plan represented in Exhibit "B" is hereby approved.
3. That the following variances are hereby approved:
 - a. A 10' increase in the driveway width to allow a 40' drive (38.602B1);
 - b. A 3' increase in building height for an overall height of 23'(44.1034E);
 - c. A 19' decrease in required front yard setback for a 21' front yard (44.1034F);
 - d. A 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F)
4. That this Ordinance shall be in full force and effective as the time of its passage.

Passed on this _____ day of _____, 20_____.

Approved on this _____ day of _____, 20_____.

APPROVED:

ATTEST:

Mayor Tari Renner

City Clerk Leslie Smith-Yocum

Exhibit "A"

Legal Description

1209 Holiday Drive

PIN: 14-35-452-016

LOT 1 IN THE B&E SUBDIVISION ACCORDING TO THE PLAT THEREOF
RECORDED JULY 15, 1987 DOCUMENT NUMBER 87-14112, IN MCLEAN COUNTY
ILLINOIS

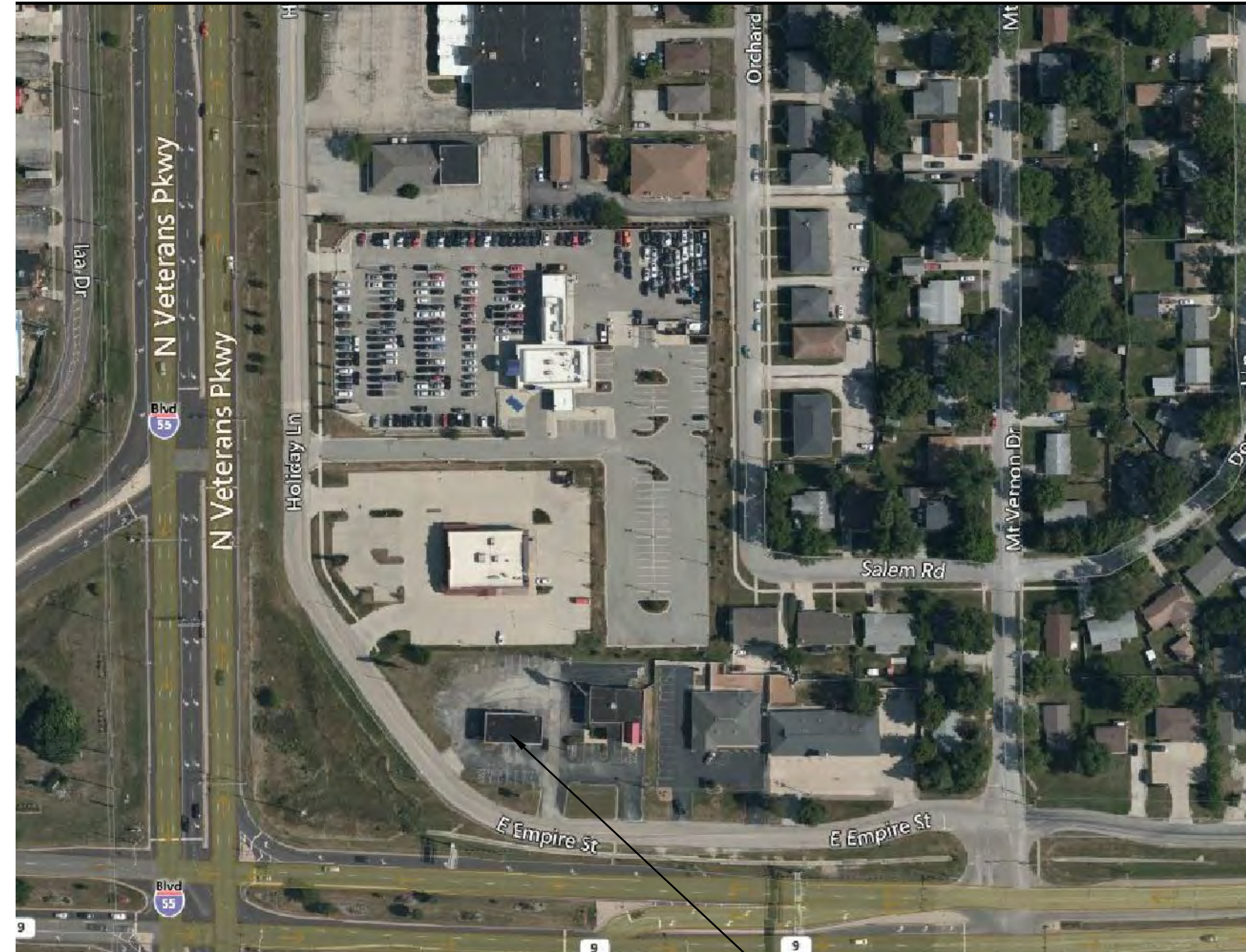
DRAFT

EXHIBIT "B"
SITE PLAN

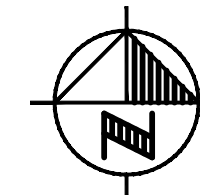
SPEED LUBE

1209 HOLIDAY DRIVE, CITY OF BLOOMINGTON

LOT 1 B & E SUBDIVISION



DEVELOPMENT SITE



SITE LOCATION MAP

NOT TO SCALE

SHEET INDEX

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 DEMOLITION PLAN
- C3.0 SITE DEVELOPMENT PLAN
- C3.1 GEOMETRIC LAYOUT PLAN
- C4.0 GRADING PLAN
- C4.1 DRAINAGE PLAN
- C5.0 LANDSCAPE PLAN
- C6.0 EROSION CONTROL PLAN
- C6.1 EROSION CONTROL NOTES
- C7.0 STANDARD DETAILS
- C7.1 STANDARD DETAILS
- C7.2 STANDARD DETAILS

OWNER/DEVELOPER

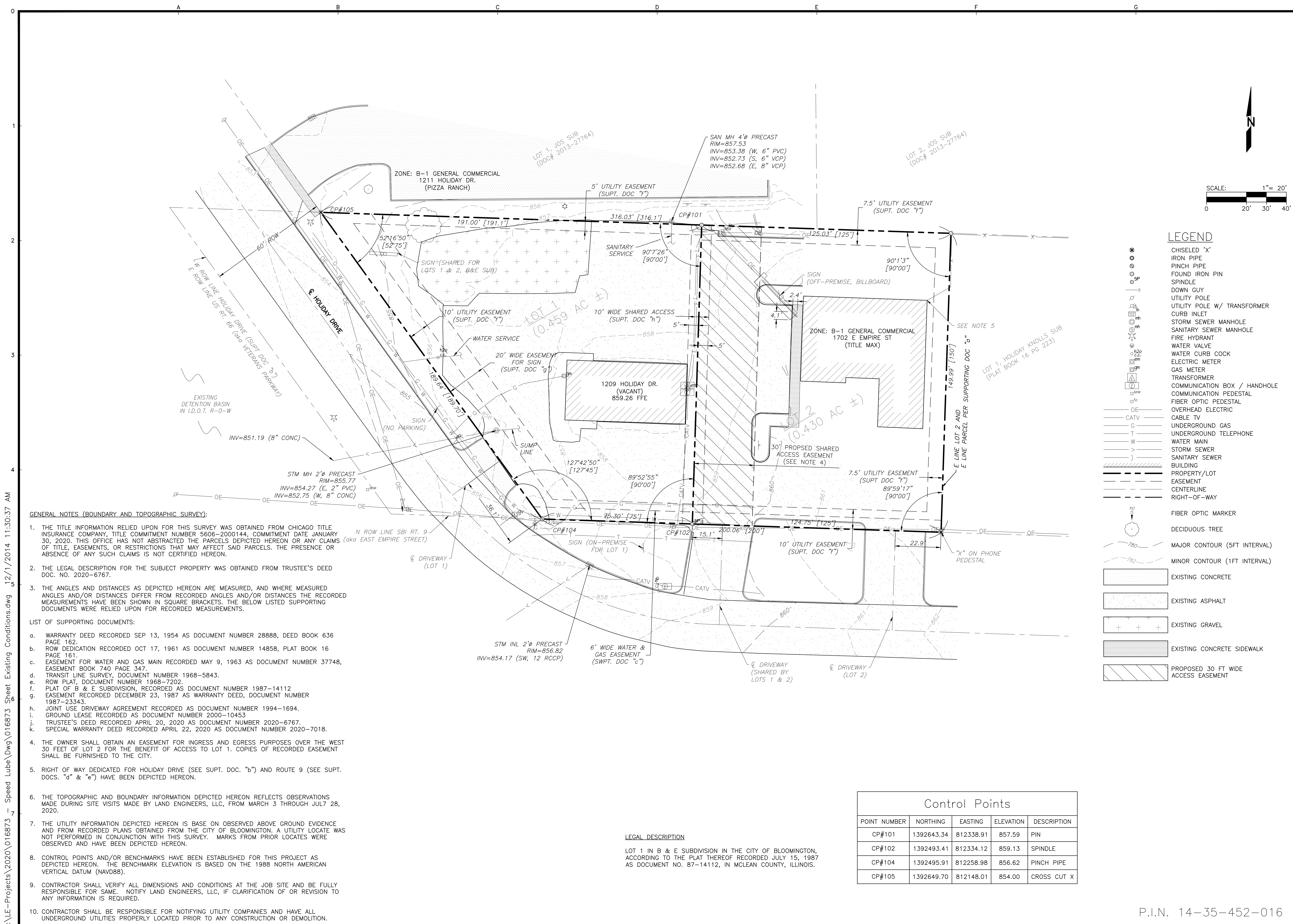
SPEED LUBE 10-MINUTE OIL CHANGE CHOPS, INC.
 c/o: MARK ALLEN
 924 E. ELDORADO ST.
 DECATUR, IL 62521
 PH. (217) 620-4183

ARCHITECT

JOHN R. DRAYTON
 3135 TURPIN ROAD
 DECATUR, IL 62521
 PH. (217) 972-7668



Land
 Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4393 fax: 309-827-4394
 Design Firm No. 184-004522 Expires: 04/30/21



GENERAL NOTES (BOUNDARY AND TOPOGRAPHIC SURVEY):

- THE TITLE INFORMATION RELIED UPON FOR THIS SURVEY WAS OBTAINED FROM CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER 5606-2000144, COMMITMENT DATE JANUARY 30, 2020. THIS OFFICE HAS NOT ABSTRACTED THE PARCELS DEPICTED HEREON OR ANY CLAIMS OF TITLE, EASEMENTS, OR RESTRICTIONS THAT MAY AFFECT SAID PARCELS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON.
 - THE LEGAL DESCRIPTION FOR THE SUBJECT PROPERTY WAS OBTAINED FROM TRUSTEE'S DEED DOC. NO. 2020-6767.
 - THE ANGLES AND DISTANCES AS DEPICTED HEREON ARE MEASURED, AND WHERE MEASURED ANGLES AND/OR DISTANCES DIFFER FROM RECORDED ANGLES AND/OR DISTANCES THE RECORDED MEASUREMENTS HAVE BEEN SHOWN IN SQUARE BRACKETS. THE BELOW LISTED SUPPORTING DOCUMENTS WERE RELIED UPON FOR RECORDED MEASUREMENTS.
- LIST OF SUPPORTING DOCUMENTS:
- WARRANTY DEED RECORDED SEP 13, 1954 AS DOCUMENT NUMBER 28888, DEED BOOK 636 PAGE 162.
 - ROW DEDICATION RECORDED OCT 17, 1961 AS DOCUMENT NUMBER 14858, PLAT BOOK 16 PAGE 161.
 - EASEMENT FOR WATER AND GAS MAIN RECORDED MAY 9, 1963 AS DOCUMENT NUMBER 37748, EASEMENT BOOK 740 PAGE 347.
 - TRANSIT LINE SURVEY, DOCUMENT NUMBER 1968-5843.
 - ROW PLAT, DOCUMENT NUMBER 1968-7202.
 - PLAT OF B & E SUBDIVISION, RECORDED AS DOCUMENT NUMBER 1987-14112
 - EASEMENT RECORDED DECEMBER 23, 1987 AS WARRANTY DEED, DOCUMENT NUMBER 1987-23343.
 - JOINT USE DRIVEWAY AGREEMENT RECORDED AS DOCUMENT NUMBER 1994-1694.
 - GROUND LEASE RECORDED AS DOCUMENT NUMBER 2000-10453
 - TRUSTEE'S DEED RECORDED APRIL 20, 2020 AS DOCUMENT NUMBER 2020-6767.
 - SPECIAL WARRANTY DEED RECORDED APRIL 22, 2020 AS DOCUMENT NUMBER 2020-7018.
- THE OWNER SHALL OBTAIN AN EASEMENT FOR INGRESS AND EGRESS PURPOSES OVER THE WEST 30 FEET OF LOT 2 FOR THE BENEFIT OF ACCESS TO LOT 1. COPIES OF RECORDED EASEMENT SHALL BE FURNISHED TO THE CITY.
 - RIGHT OF WAY DEDICATED FOR HOLIDAY DRIVE (SEE SUPT. DOC. "b") AND ROUTE 9 (SEE SUPT. DOCS. "d" & "e") HAVE BEEN DEPICTED HEREON.
 - THE TOPOGRAPHIC AND BOUNDARY INFORMATION DEPICTED HEREON REFLECTS OBSERVATIONS MADE DURING SITE VISITS MADE BY LAND ENGINEERS, LLC, FROM MARCH 3 THROUGH JULY 28, 2020.
 - THE UTILITY INFORMATION DEPICTED HEREON IS BASE ON OBSERVED ABOVE GROUND EVIDENCE AND FROM RECORDED PLANS OBTAINED FROM THE CITY OF BLOOMINGTON. A UTILITY LOCATE WAS NOT PERFORMED IN CONJUNCTION WITH THIS SURVEY. MARKS FROM PRIOR LOCATES WERE OBSERVED AND HAVE BEEN DEPICTED HEREON.
 - CONTROL POINTS AND/OR BENCHMARKS HAVE BEEN ESTABLISHED FOR THIS PROJECT AS DEPICTED HEREON. THE BENCHMARK ELEVATION IS BASED ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88).
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME. NOTIFY LAND ENGINEERS, LLC, IF CLARIFICATION OF OR REVISION TO ANY INFORMATION IS REQUIRED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES AND HAVE ALL UNDERGROUND UTILITIES PROPERLY LOCATED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.

LEGAL DESCRIPTION

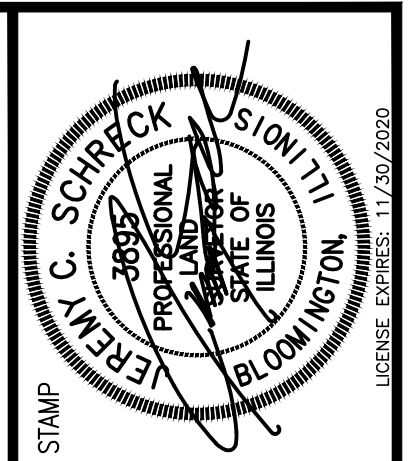
LOT 1 IN B & E SUBDIVISION IN THE CITY OF BLOOMINGTON, ACCORDING TO THE PLAT THEREOF RECORDED JULY 15, 1987 AS DOCUMENT NO. 87-14112, IN MCLEAN COUNTY, ILLINOIS.

Control Points

POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP#101	1392643.34	812338.91	857.59	PIN
CP#102	1392493.41	812334.12	859.13	SPINDLE
CP#104	1392495.91	812258.98	856.62	PINCH PIPE
CP#105	1392649.70	812148.01	854.00	CROSS CUT X

LEGEND

- CHISELED 'X' IRON PIPE
- PINCH PIPE
- FOUND IRON PIN
- SPINDLE
- DOWN GUY
- UTILITY POLE
- UTILITY POLE W/ TRANSFORMER
- CURB INLET
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER CURB COCK
- ELECTRIC METER
- GAS METER
- TRANSFORMER
- COMMUNICATION BOX / HANDHOLE
- COMMUNICATION PEDESTAL
- FIBER OPTIC PEDESTAL
- OVERHEAD ELECTRIC
- CABLE TV
- UNDERGROUND GAS
- UNDERGROUND TELEPHONE
- WATER MAIN
- STORM SEWER
- SANITARY SEWER
- BUILDING
- PROPERTY/LOT
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- FIBER OPTIC MARKER
- DECIDUOUS TREE
- MAJOR CONTOUR (5FT INTERVAL)
- MINOR CONTOUR (1FT INTERVAL)
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING CONCRETE SIDEWALK
- PROPOSED 30 FT WIDE ACCESS EASEMENT



REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SCALE: 1" = 20'

DRAWN BY: LCH
DATE: 7/21/20

CHECKED BY: JCS
DATE: 7/28/20

PROJECT

SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
EXISTING CONDITIONS

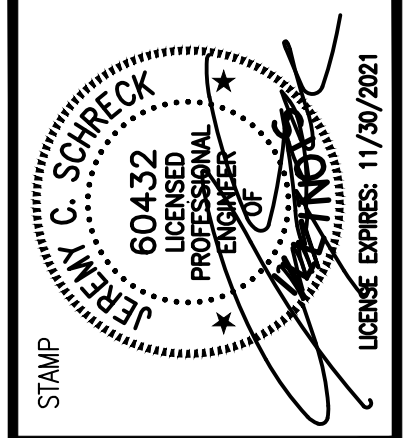
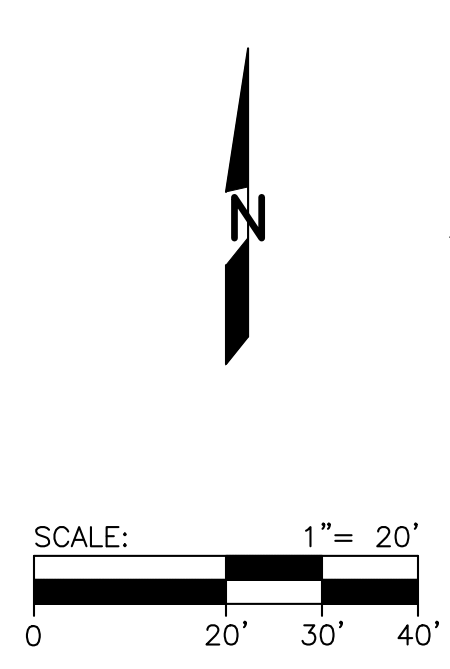
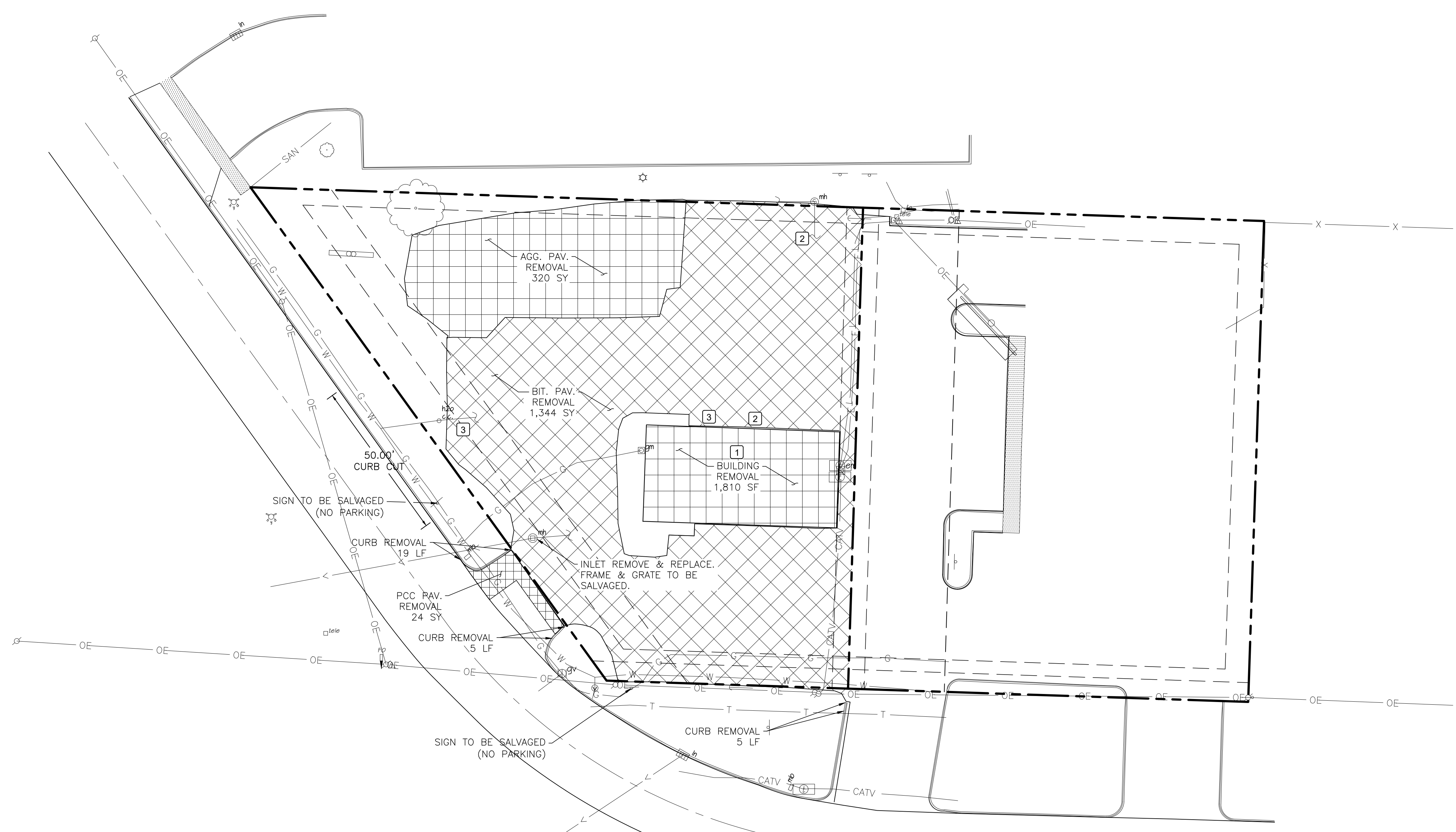
Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 / 184-004522
Design Firm No. 184-004522 Expires: 4/30/2021

PROJECT NO.
016873

PLAN SET DATE

SHEET NUMBER
C1.0

L:\LE-Projects\2020\016873 - Speed Lube\016873 Sheet Demo Plan.dwg 7/29/2020 11:23:15 AM



NO.	DATE	APPR.	DESCRIPTION

SCALE: 1" = 20'
 DRAWN BY: NPM
 DATE: 7/29/20
 CHECKED BY: JCS
 DATE: 7/29/20

**SPEED LUBE
 1209 HOLIDAY DRIVE
 LOT 1, B&E SUBDIVISION
 CITY OF BLOOMINGTON, ILLINOIS
 DEMOLITION PLAN**

PROJECT NO.
016873

PLAN SET DATE

SHEET NUMBER
C2.0

KEYED DEMOLITION NOTES: #

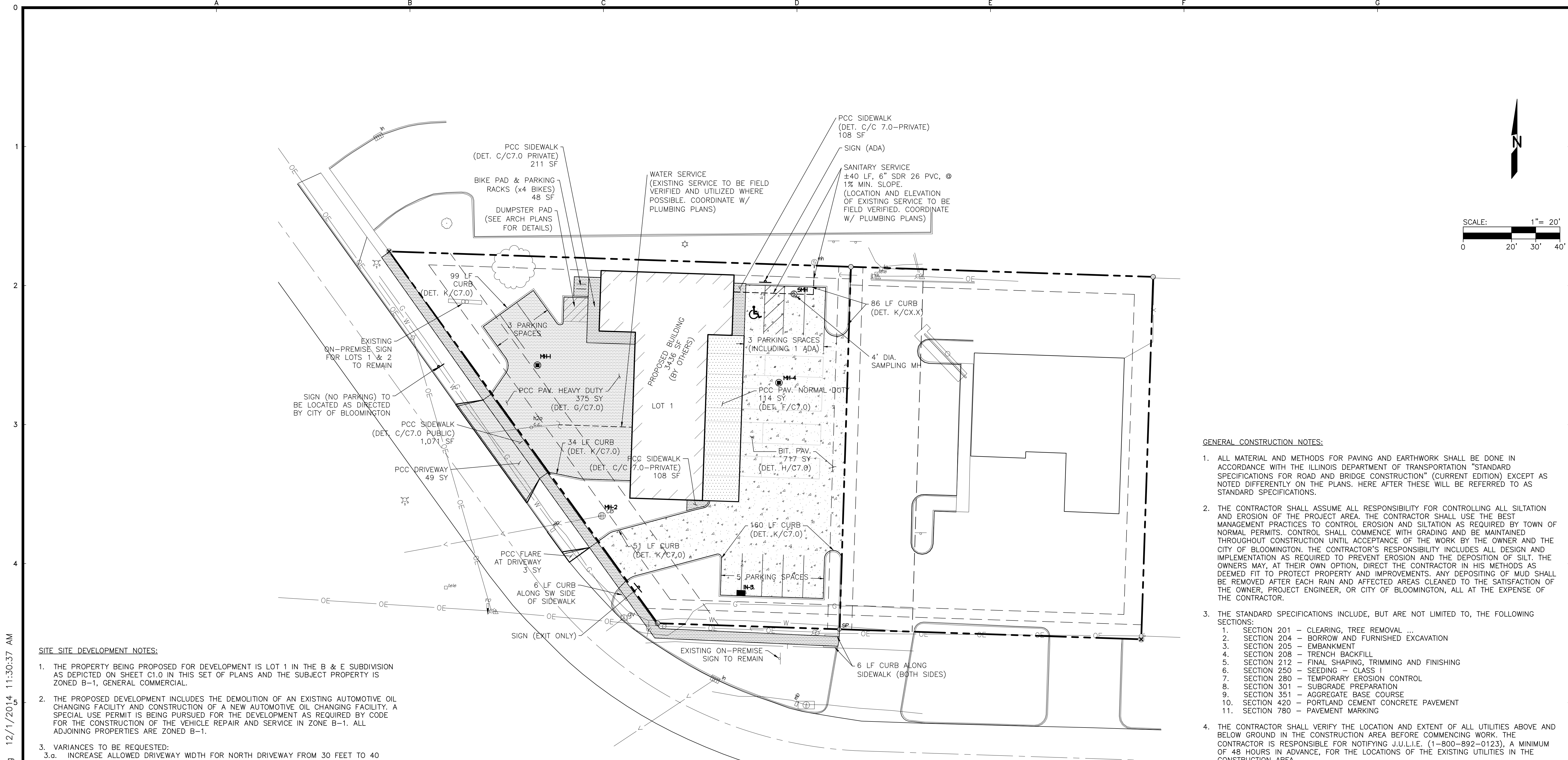
1. CONTRACTOR SHALL REMOVE EXISTING BUILDING, FOUNDATION, PITS, AND TANKS AND CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE DEMOLITION AND EXCAVATION OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. SEE ARCHITECTURAL PLANS FOR MORE DETAILS.
2. CONTRACTOR SHALL LOCATE THE EXISTING SANITARY SERVICE TO THE ORIGINAL BUILDING LOCATED AT 1209 HOLIDAY DRIVE AND SHALL REMOVE THE EXISTING SANITARY SERVICE FROM THE BUILDING TO A LOCATION COORDINATED WITH THE PLUMBING PLANS. CONTRACTOR SHALL TELEVISION THE EXISTING SERVICE AND SHALL PROVIDE THE VIDEO OF THE INSPECTION TO THE OWNER, LAND ENGINEERS, LLC, AND THE CITY OF BLOOMINGTON PUBLIC WORKS DEPARTMENT FOR EVALUATION. IF THE EXISTING SANITARY SERVICE IS APPROVED, THE CONTRACTOR SHALL TEMPORARILY CAP EXISTING SERVICE AND MARK THE LOCATION OF THE CAP SO THAT IT REMAINS VISIBLE AFTER BACKFILL FOR FUTURE CONNECTION. IF EXISTING SANITARY SERVICE IS NOT APPROVED, THE CONTRACTOR SHALL DISCONNECT AND PERMANENTLY CAP THE SERVICE AT THE MAIN. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE MATERIALS ASSOCIATED WITH SAID SANITARY SERVICE OFF-SITE.
3. CONTRACTOR SHALL LOCATE THE EXISTING WATER SERVICE TO THE ORIGINAL BUILDING LOCATED AT 1209 HOLIDAY DRIVE AND SHALL VERIFY THE SIZE OF THE EXISTING SERVICE. IF THE EXISTING WATER SERVICE IS ADEQUATE AND APPROVED BY THE CITY OF BLOOMINGTON WATER DEPARTMENT, THE CONTRACTOR SHALL REMOVE THE EXISTING WATER SERVICE FROM THE BUILDING TO A LOCATION COORDINATED WITH THE PLUMBING PLANS. IF THE EXISTING WATER SERVICE IS NOT APPROVED FOR USE, THEN THE CONTRACTOR SHALL REMOVE THE EXISTING SERVICE TO THE WATER MAIN AND DISPOSE OF ALL WASTE MATERIALS ASSOCIATED WITH SAID WATER SERVICE. DISCONNECT SHALL BE WITNESSED BY THE CITY OF BLOOMINGTON WATER DEPARTMENT. CONTRACTOR SHALL CALL THE CITY OF BLOOMINGTON WATER DEPARTMENT AT (309)434-2426 A MINIMUM OF 2 WORKING DAYS IN ADVANCE OF PERFORMING THE WORK.

GENERAL DEMOLITION NOTES:

4. CONTRACTOR SHALL REMOVE CONCRETE AND AGGREGATE PAVEMENT AS INDICATED ALONG WITH ANY GRANULAR BASE MATERIAL AND SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE DEMOLITION AND EXCAVATION OFF-SITE.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME. NOTIFY LAND ENGINEERS, LLC, IF CLARIFICATION OF OR REVISION TO ANY INFORMATION IS REQUIRED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES AND HAVING ALL UNDERGROUND UTILITIES PROPERLY LOCATED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.
7. CONTRACTOR SHALL COORDINATE DISCONNECTION AND/OR REMOVAL OF EXISTING UTILITIES WITH OWNER OF SAID UTILITY SERVICE.

PROJECT

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4335 Fax: 309-827-4394
 Design Firm No. 184-004522 Expires: 4/30/2021



SITE DEVELOPMENT NOTES:

1. THE PROPERTY BEING PROPOSED FOR DEVELOPMENT IS LOT 1 IN THE B & E SUBDIVISION AS DEPICTED ON SHEET C1.0 IN THIS SET OF PLANS AND THE SUBJECT PROPERTY IS ZONED B-1, GENERAL COMMERCIAL.
2. THE PROPOSED DEVELOPMENT INCLUDES THE DEMOLITION OF AN EXISTING AUTOMOTIVE OIL CHANGING FACILITY AND CONSTRUCTION OF A NEW AUTOMOTIVE OIL CHANGING FACILITY. A SPECIAL USE PERMIT IS BEING PURSUED FOR THE DEVELOPMENT AS REQUIRED BY CODE FOR THE CONSTRUCTION OF THE VEHICLE REPAIR AND SERVICE IN ZONE B-1. ALL ADJOINING PROPERTIES ARE ZONED B-1.
3. VARIANCES TO BE REQUESTED:
 - 3.a. INCREASE ALLOWED DRIVEWAY WIDTH FOR NORTH DRIVEWAY FROM 30 FEET TO 40 FEET (§38-602.B.1).
 - 3.b. INCREASE ALLOWED BUILDING HEIGHT FROM 20 FEET TO 23 FEET (§44-1034.E).
 - 3.c. DECREASE REQUIRED FRONT YARD ALONG WEST LINE FROM 40 FEET TO 21 FEET (§44-1034.F).
 - 3.d. DECREASE REQUIRED SIDE YARD ALONG NORTH LINE FROM 15 FEET TO 5 FEET (§44-1034.F).
4. A RACK FOR PARKING FOUR (4) BICYCLES IS BEING PROVIDED AS SHOWN HEREON.
5. MOTOR VEHICLE PARKING FOR THE DEVELOPMENT IS ADDRESSED AS FOLLOWS:

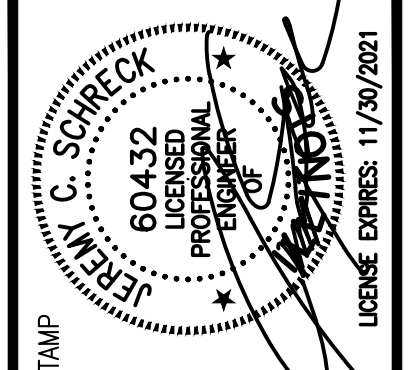
SPACES REQUIRED BY USE	12	(THREE SPACES PER SERVICE BAY)
REDUCTION FOR BIKE PARKING	-1	(ONE SPACE PER FOUR BIKES)
TOTAL SPACES REQUIRED	11	
TOTAL SPACES PROVIDED	11	
6. ALL HANDICAP PARKING STALLS SHALL BE MARKED WITH AN R7-8 "RESERVED PARKING" SIGN AND AN R7-1101 "\$250 FINE" SIGN. U.S. STANDARD SIGNS SHALL BE PLACED AT THE HEAD OF THE PARKING STALLS SHALL BE PAINTED IN ACCORDANCE WITH THE ADA STANDARDS AND THE STANDARD SPECIFICATIONS.
7. STORM WATER FOR FROM THIS PROPERTY CURRENTLY DRAINS TO A DETENTION BASIN LOCATED WITHIN I.D.O.T.'S RIGHT OF WAY ON THE WEST SIDE OF HOLIDAY DRIVE. THE SITE WILL CONTINUE TO DRAIN TO THIS BASIN, AND NO ON-SITE DETENTION IS BEING PROVIDED.
8. PCC SIDEWALK IN R.O.W SHALL BE 6" THICK, EXCEPT AT DRIVEWAYS WHERE IT SHALL BE 8" THICK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TRAFFIC CONTROL PERMIT IF ANY SIDEWALK, STREET, OR TRAFFIC LANE IS TO BE CLOSED FOR CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES AND HAVING ALL UNDERGROUND UTILITIES PROPERLY LOCATED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.
11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME. NOTIFY LAND ENGINEERS, LLC, IF CLARIFICATION OR REVISION TO ANY INFORMATION IS REQUIRED.
12. SEE SHEETS C7.0 THROUGH C7.2 FOR ADDITIONAL DETAILS.
13. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS (BY OTHERS).

SEWER AND WATER UTILITY NOTES:

1. ALL MATERIAL AND METHODS FOR CONSTRUCTION OF SANITARY SEWER SERVICE, WATER SERVICE AND STORM SEWER SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AND THE CITY OF BLOOMINGTON MANUAL OF PRACTICE EXCEPT AS NOTED DIFFERENTLY ON THE PLANS. HERE AFTER THESE WILL BE REFERRED TO AS STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON PUBLIC WORKS DEPARTMENT AT (309) 434-2225 A MINIMUM OF 48 HOURS PRIOR TO CONNECTING TO OR INSTALLING ANY PUBLIC UTILITIES OR SERVICES.
3. EXISTING SERVICE LINES FOR SANITARY AND WATER SHALL BE UTILIZED TO THE EXTENT POSSIBLE. THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND DEPTH OF THE EXISTING SANITARY AND WATER SERVICE LINES, AND SHALL BE COORDINATED WITH THE PLUMBING PLANS.
4. IF THE EXISTING STUBS ARE NOT USED, THE CONTRACTOR SHALL DISCONNECT EXISTING SERVICE AT THE MAIN IN ACCORDANCE WITH THE CITY OF BLOOMINGTON REQUIREMENTS AND SHALL REMOVE AND DISPOSE OF ALL WASTE MATERIALS ASSOCIATED WITH SAID SERVICE. CONTRACTOR SHALL REPLACE DAMAGED PAVEMENT IN ACCORDANCE WITH THE CITY OF BLOOMINGTON REQUIREMENTS. DISCONNECT SHALL BE WITNESSED BY THE CITY OF BLOOMINGTON.
5. SANITARY SERVICES SHALL BE LAID AT A SLOPE OF 1.0% OR GREATER. CHANGES IN SLOPE ON THE SERVICE MAY BE BY "BREAKING JOINTS" PROVIDED THE JOINT SEAL IS AIR TIGHT AND THE RECOMMENDATIONS OF THE MANUFACTURER ARE NOT EXCEEDED. FITTINGS NOT GREATER THAN A 45° BEND MAY BE USED WHERE CHANGES IN GRADE DICTATE.
6. CONSTRUCTION OF WATER SERVICE LINES AND APPURTENANCES MUST CONFORM IN ALL RESPECTS TO AWWA C800 STANDARDS OF LATEST REVISIONS. WHERE COPPER PIPE IS USED, SERVICE PIPE MUST BE "TYPE K" SEAMLESS COPPER TUBING CONFORMING TO ASTM SPECIFICATION B-88-62, WITH RED BRASS FITTINGS CONFORMING TO ASTM B-62 SPECIFICATIONS.
7. ALL WATER SERVICE CONNECTIONS AND PIPING SHALL BE MAINTAINED AT A DEPTH OF FOUR (4) FEET MINIMUM BURIAL TO PREVENT FREEZING OR BE PROPERLY INSULATED AS APPROVED BY THE DIRECTOR OF WATER.
8. STORM SEWER MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SHALL CONFORM TO ONE OF THE FOLLOWING:
 - 8.a. REINFORCED CONCRETE CULVERT, STORM DRAIN AND SEWER PIPE.
 - 8.b. DUCTILE IRON PIPE, CLASS 150, CONFORMING TO A.N.S.I./A.W.W.A. C-151/A21.51, WITH SINGLE GASKET JOINTS MEETING A.N.S.I./A.W.W.A. C-111/A21.11, WITH STANDARD CEMENT LINING AS PER A.N.S.I./A.W.W.A. C-104/A21.4 AND WITH BITUMINOUS COATING AS PER SECTION 51-8.1 OF A.N.S.I./A.W.W.A. C-151/A21.51.
 - 8.c. PVC PIPE SHALL CONFORM TO ASTM 3034, TYPE PSM AND SHALL BE MADE OF PVC HAVING A MINIMUM CELL CLASS OF R454-C AND SHALL HAVE A MINIMUM PIPE STIFFNESS OF 46 PSI.
9. CATCH BASINS, MANHOLES, INLETS AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
10. A GRANULAR CRADLE (BEDDING AND HAUNCHING) WILL BE REQUIRED FOR ALL STORM SEWERS AS SHOWN IN DETAIL C/C502. MATERIAL FOR THE GRANULAR CRADLE SHALL COMPLY WITH EITHER FA1 OR FA2, EXCEPT THE PERCENT PASSING THE 75µm (NO. 200) SIEVE SHALL BE 2±. IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
11. ALL TRENCHES UNDER ANOTHER SEWER OR WATER MAIN, OR UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED STREETS, SIDEWALKS AND/OR DRIVEWAYS SHALL BE BACKFILLED WITH TRENCH BACKFILL MATERIAL IN ACCORDANCE WITH SECTION 208 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
12. MATERIAL FOR TRENCH BACKFILL SHALL COMPLY WITH ARTICLE 1003.04 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, EXCEPT THAT THE BEDDING TYPE FOR ALL SANITARY SEWERS SHALL BE ASTM C12-04, 3/4" - 1/2" CRUSHED STONE, IDOT GRADATION CA 11. THE MINIMUM BEDDING CLASS FOR SANITARY SEWERS SHALL BE CLASS B AND THE MINIMUM SAFETY FACTOR SHALL BE 1.20, AND SAND BEDDING SHALL NOT BE USED FOR SANITARY SEWERS.

GENERAL CONSTRUCTION NOTES:

1. ALL MATERIAL AND METHODS FOR PAVING AND EARTHWORK SHALL BE DONE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION) EXCEPT AS NOTED DIFFERENTLY ON THE PLANS. HERE AFTER THESE WILL BE REFERRED TO AS STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE THE BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND SILTATION AS REQUIRED BY TOWN OF NORMAL PERMITS. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND THE CITY OF BLOOMINGTON. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITION OF SILT. THE OWNERS MAY, AT THEIR OWN OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF MUD SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER, PROJECT ENGINEER, OR CITY OF BLOOMINGTON, ALL AT THE EXPENSE OF THE CONTRACTOR.
3. THE STANDARD SPECIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SECTIONS:
 1. SECTION 201 - CLEARING, TREE REMOVAL ...
 2. SECTION 204 - BORROW AND FURNISHED EXCAVATION
 3. SECTION 205 - EMBANKMENT
 4. SECTION 208 - TRENCH BACKFILL
 5. SECTION 212 - FINAL SHAPING, TRIMMING AND FINISHING
 6. SECTION 250 - SEEDING - CLASS 1
 7. SECTION 280 - TEMPORARY EROSION CONTROL
 8. SECTION 301 - SUBGRADE PREPARATION
 9. SECTION 351 - AGGREGATE BASE COURSE
 10. SECTION 420 - PORTLAND CEMENT CONCRETE PAVEMENT
 11. SECTION 780 - PAVEMENT MARKING
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND EXTENT OF ALL UTILITIES ABOVE AND BELOW GROUND IN THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING J.U.L.I.E. (1-800-892-0123), A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE LOCATIONS OF THE EXISTING UTILITIES IN THE CONSTRUCTION AREA.
5. THE CONTRACTOR SHALL REMOVE WASTE AND UNSUITABLE MATERIAL FROM THE OWNER'S PROPERTY AND DISPOSE OF THE SAME, OFF-SITE IN A LEGAL MANNER.
6. THE CONTRACTOR SHALL REMOVE 6" OF TOPSOIL AND STOCKPILE AT A LOCATION DETERMINED BY THE OWNER. ANY UNUSED MATERIAL AT THE COMPLETION OF THE PROJECT SHALL BE STOCKPILED AT A LOCATION DETERMINED BY THE OWNER.
7. ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDING WITH SEEDING - CLASS 1 - LAWN MIXTURE.
8. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL DAMAGE CAUSED AS A RESULT OF THE CONSTRUCTION ACTIVITIES. THE DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
9. ALL FIELD TILE ENCOUNTERED DURING SITE IMPROVEMENT CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACHIEVED THE FIELD TILE SHALL BE REPAIRED WITH A NEW PIPE OF SIMILAR DIAMETER AND MATERIAL TO THE ORIGINAL LINE AND RETURNED TO OPERATIONAL CONDITION. ADDITIONALLY, AN "AS-BUILT" RECORD OF THE LOCATION OF ALL FIELD TILES FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE MADE BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
10. ALL EARTH EMBANKMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
11. SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 301 OF THE STANDARD SPECIFICATIONS.
12. SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM 698.
13. AGGREGATE BASE COURSE, TYPE B SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 301 OF THE STANDARD SPECIFICATIONS.
14. P.C. CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE STANDARD SPECIFICATIONS.
15. MAXIMUM JOINT SPACING SHALL BE 12 FEET.
16. CONTRACTOR SHALL SUBMIT EXPANSION JOINT LAYOUT TO ENGINEER FOR REVIEW.



REVISIONS		DESCRIPTION
NO.	DATE	APPR.

SCALE: 1" = 20'

DRAWN BY: JCS
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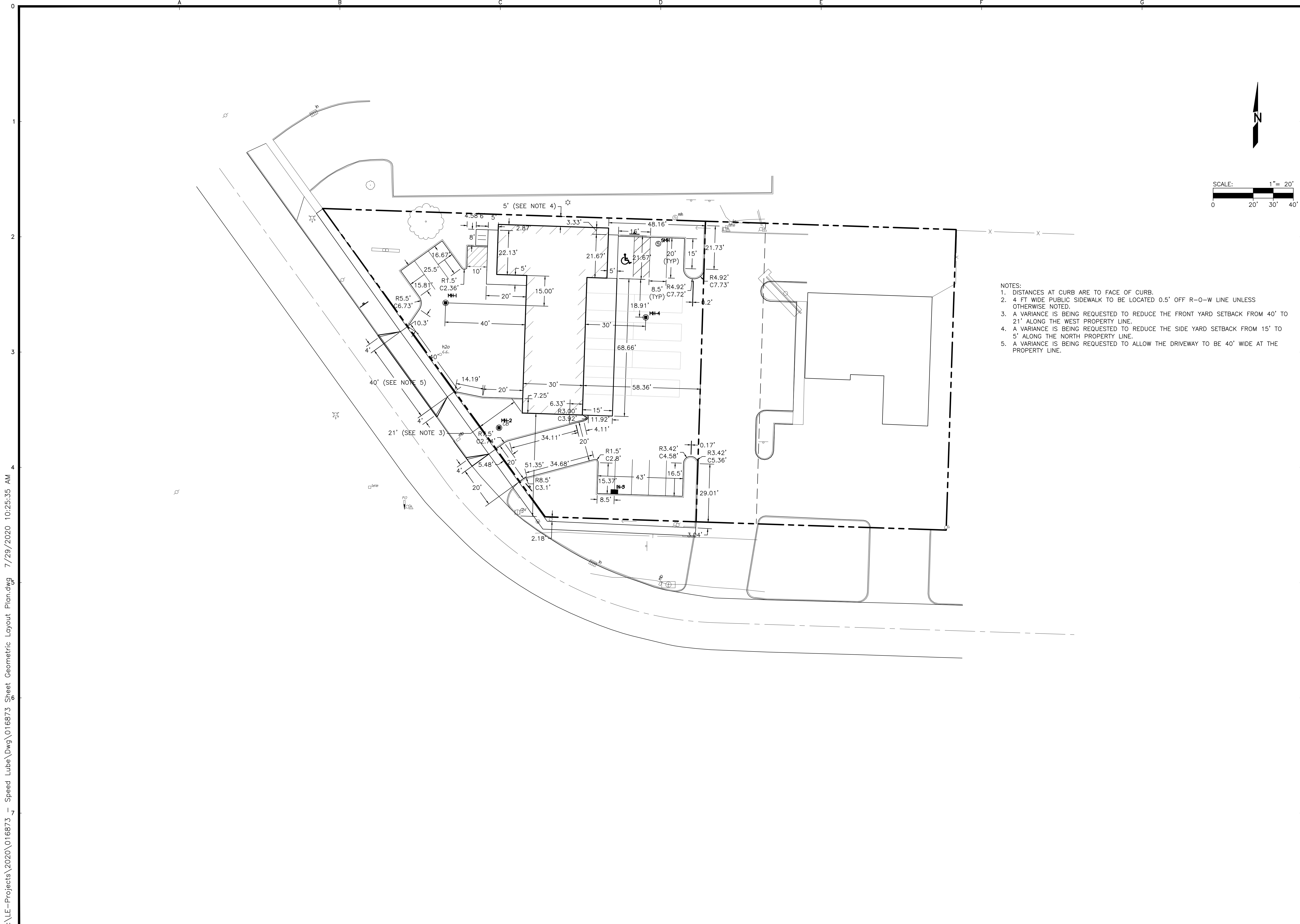
**SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
SITE DEVELOPMENT PLAN**

PROJECT: **Land Engineers, LLC**
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 Fax: 309-827-4394
Design Firm No. 184-004922 Expires: 4/30/2021

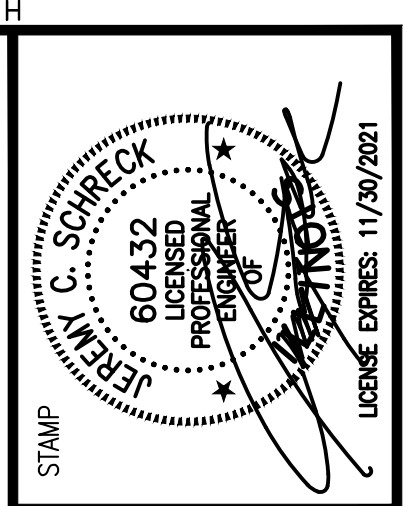
PROJECT NO. **016873**

PLAN SET DATE

SHEET NUMBER **C3.0**



- NOTES:
1. DISTANCES AT CURB ARE TO FACE OF CURB.
 2. 4 FT WIDE PUBLIC SIDEWALK TO BE LOCATED 0.5' OFF R-O-W LINE UNLESS OTHERWISE NOTED.
 3. A VARIANCE IS BEING REQUESTED TO REDUCE THE FRONT YARD SETBACK FROM 40' TO 21' ALONG THE WEST PROPERTY LINE.
 4. A VARIANCE IS BEING REQUESTED TO REDUCE THE SIDE YARD SETBACK FROM 15' TO 5' ALONG THE NORTH PROPERTY LINE.
 5. A VARIANCE IS BEING REQUESTED TO ALLOW THE DRIVEWAY TO BE 40' WIDE AT THE PROPERTY LINE.



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PROJECT: SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
GEOMETRIC LAYOUT PLAN

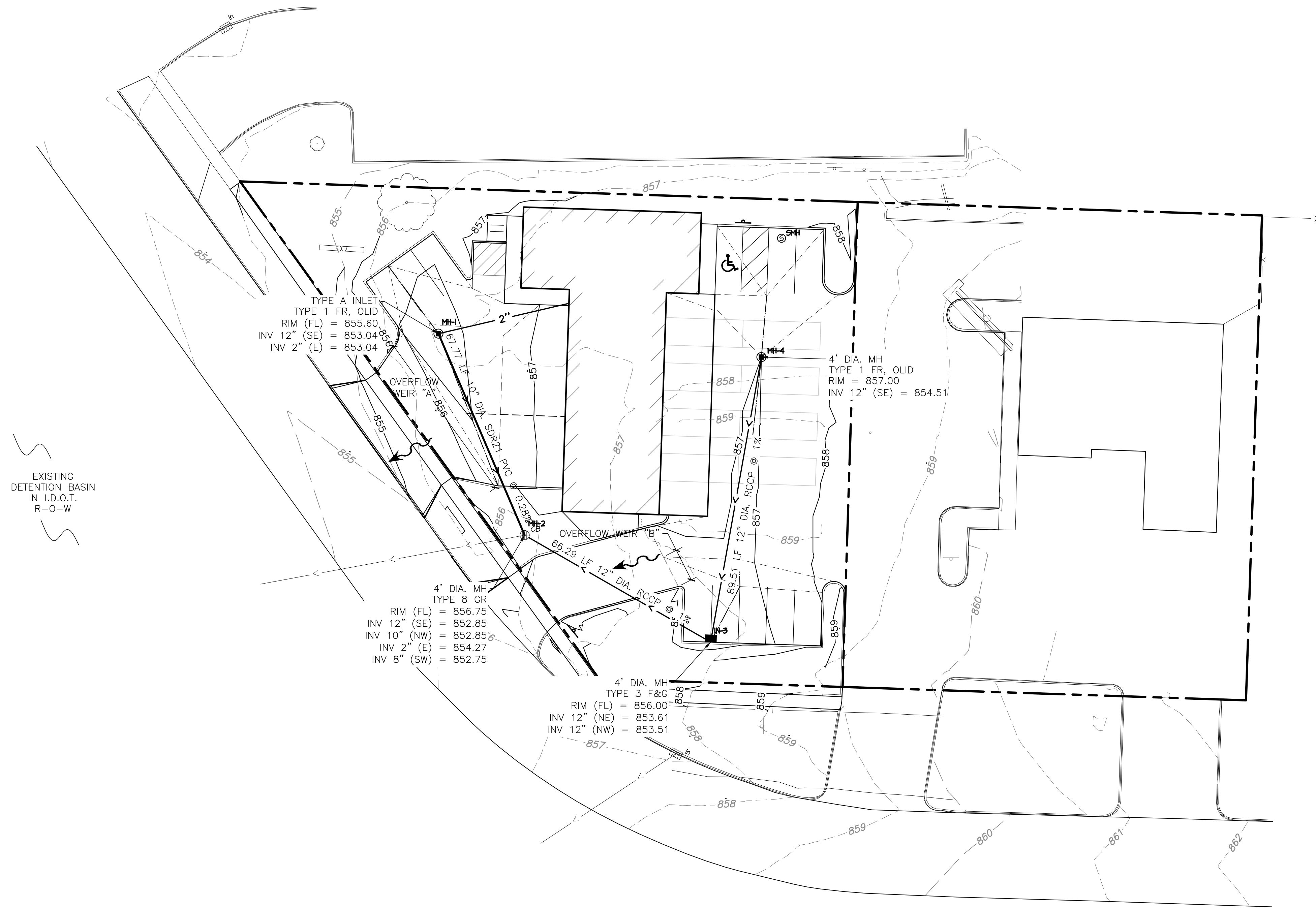
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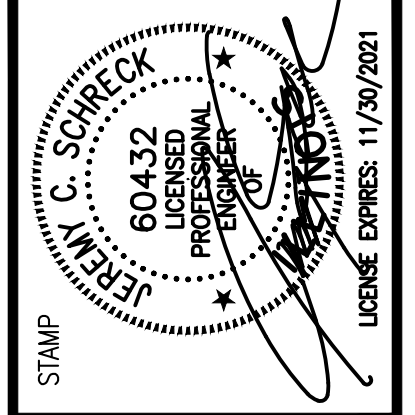
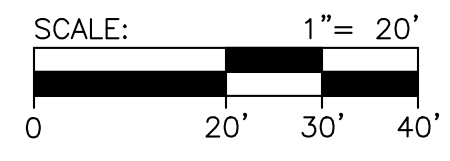
SHEET NUMBER
C3.1

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EXISTING
DETENTION BASIN
IN I.D.O.T.
R-O-W

LEGEND
FLOOD ROUTE



NO.	DATE	APPR.	DESCRIPTION

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SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
DRAINAGE PLAN

PROJECT

Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 Fax: 309-827-4394
Design Firm No. 184-004522 Expires: 4/30/2021

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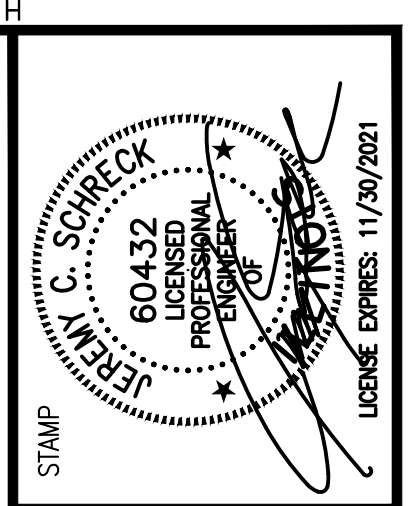
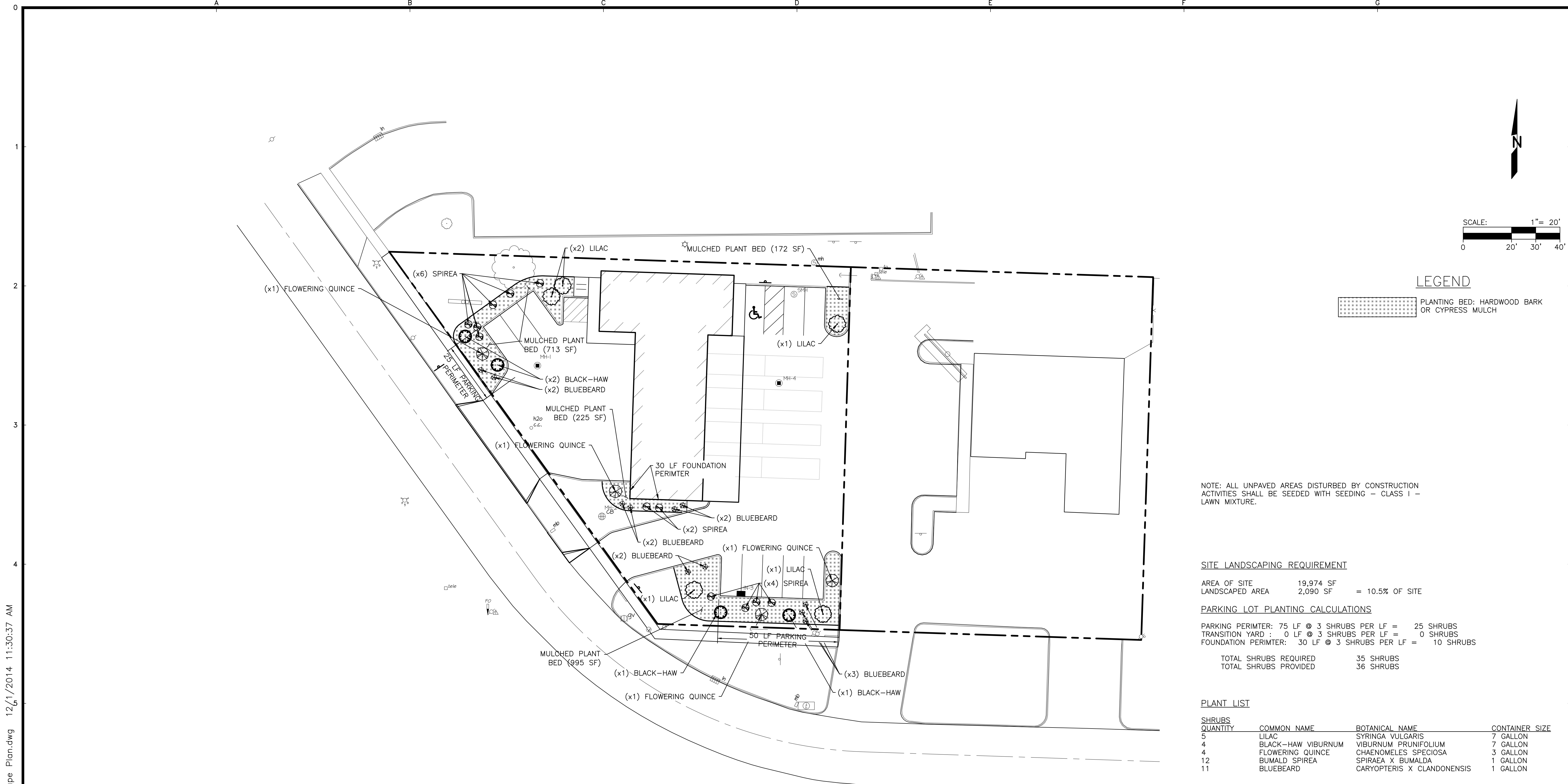
SHEET NUMBER
C4.1

Speedlube (1029 Holiday Dr.)

Area Calculations prepared by Land Engineers, LLC (07/29/20)

Total Site Area	19974 SF	0.46 AC
Total Disturbed	19974 SF	0.46 AC

	Existing			Net Change	Proposed		
	SF	AC	% of site		SF	AC	% of site
Impervious	17271 SF	0.40 AC	86% of site	- 2362 SF	14909 SF	0.34 AC	75% of site
Pervious	2703 SF	0.06 AC	14% of site	+ 2362 SF	5065 SF	0.12 AC	25% of site



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LEGEND

[Pattern] PLANTING BED: HARDWOOD BARK OR CYPRESS MULCH

NOTE: ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED WITH SEEDING - CLASS I - LAWN MIXTURE.

SITE LANDSCAPING REQUIREMENT

AREA OF SITE: 19,974 SF
 LANDSCAPED AREA: 2,090 SF = 10.5% OF SITE

PARKING LOT PLANTING CALCULATIONS

PARKING PERIMETER: 75 LF @ 3 SHRUBS PER LF = 25 SHRUBS
 TRANSITION YARD: 0 LF @ 3 SHRUBS PER LF = 0 SHRUBS
 FOUNDATION PERIMETER: 30 LF @ 3 SHRUBS PER LF = 10 SHRUBS

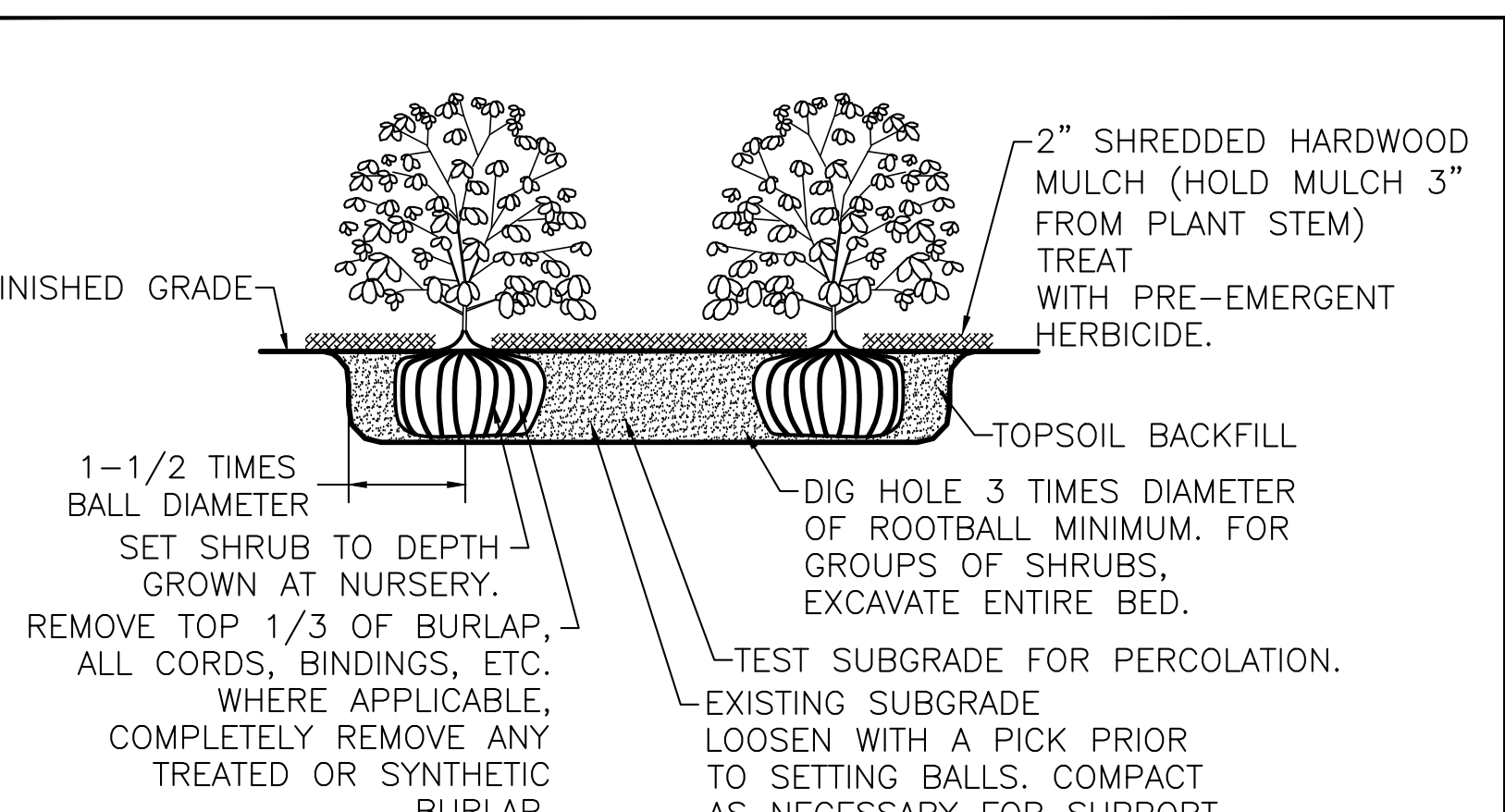
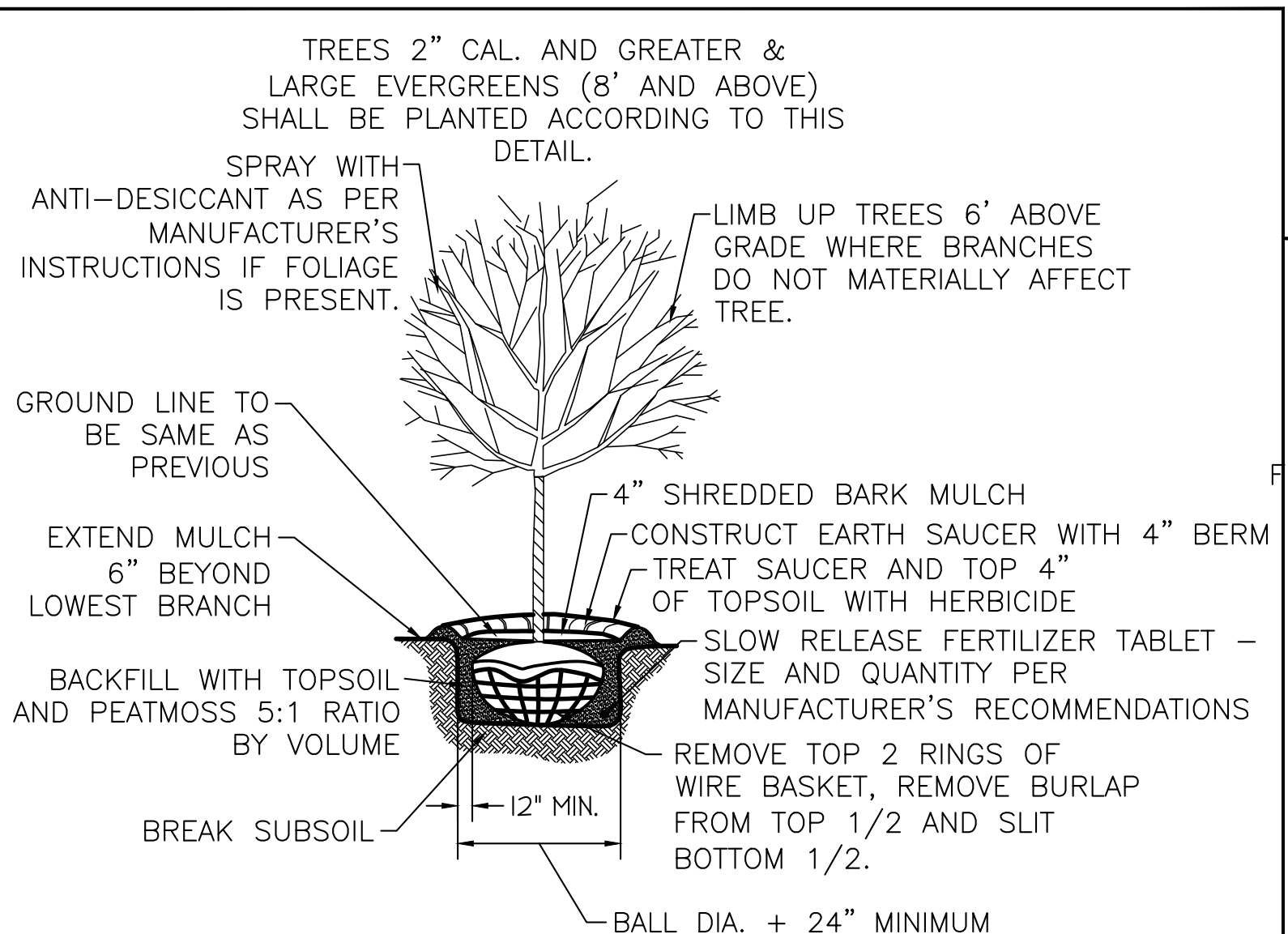
TOTAL SHRUBS REQUIRED: 35 SHRUBS
 TOTAL SHRUBS PROVIDED: 36 SHRUBS

PLANT LIST

SHRUBS QUANTITY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE
5	LILAC	SYRINGA VULGARIS	7 GALLON
4	BLACK-HAW VIBURNUM	VIBURNUM PRUNIFOLIUM	7 GALLON
4	FLOWERING QUINCE	CHAENOMELES SPECIOSA	3 GALLON
12	BUMALD SPIREA	SPIRAEA X BUMALDA	1 GALLON
11	BLUEBEARD	CARYOPTERIS X CLANDONENSIS	1 GALLON

PROJECT

SPEED LUBE
 1209 HOLIDAY DRIVE
 LOT 1, B&E SUBDIVISION
 CITY OF BLOOMINGTON, ILLINOIS
 LANDSCAPE PLAN



DECIDUOUS TREE PLANTING & STAKING DETAIL

SCALE: NO SCALE

A

C5.0

SHRUB PLANTING DETAIL

SCALE: NO SCALE

B

C5.0

PROJECT

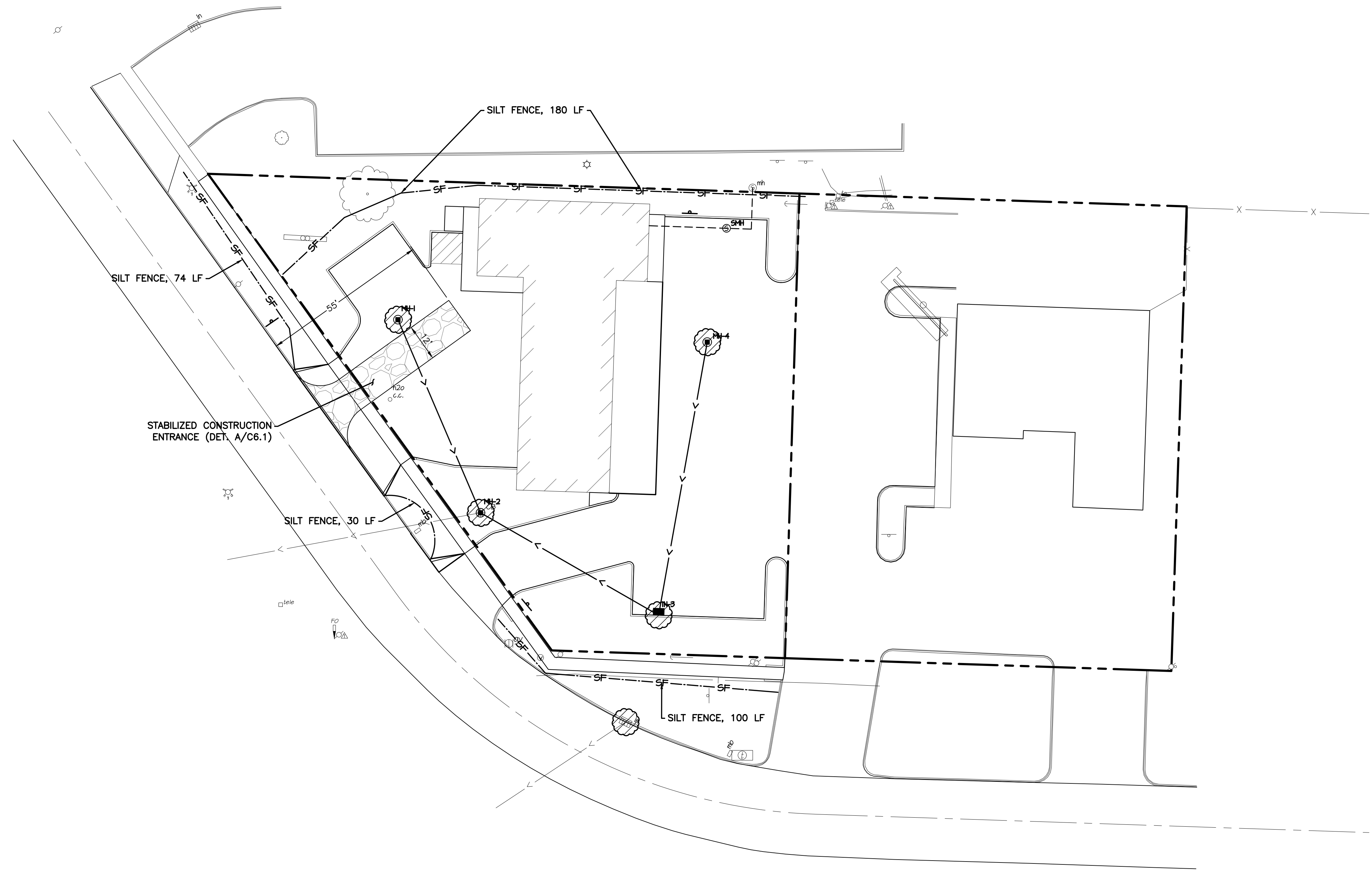
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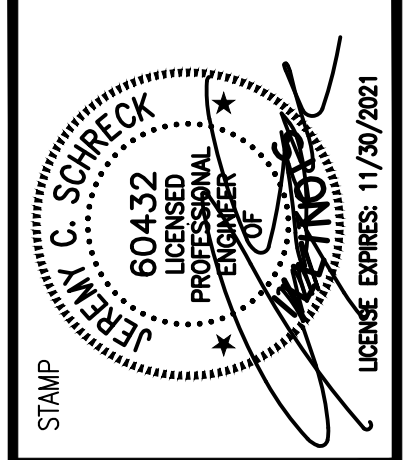
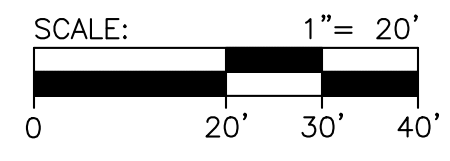


LEGEND

— SF — SILT FENCE (DET. B/C6.1)

○ INLET PROTECTION (DET. C/C6.1)

SEE SHEET C6.1 FOR EROSION CONTROL NOTES.



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PROJECT

SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS

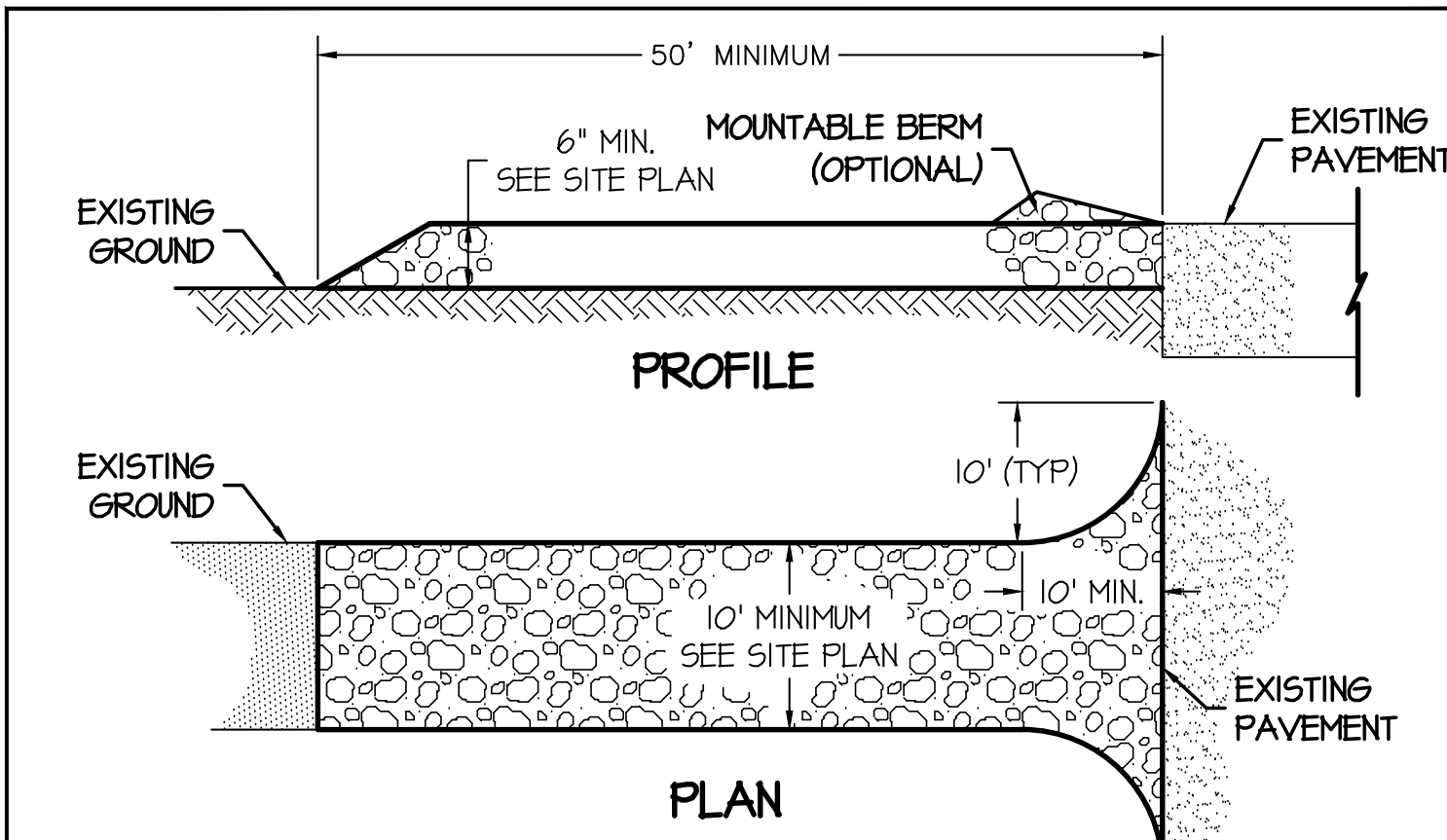
EROSION CONTROL PLAN

Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 Fax: 309-827-4394
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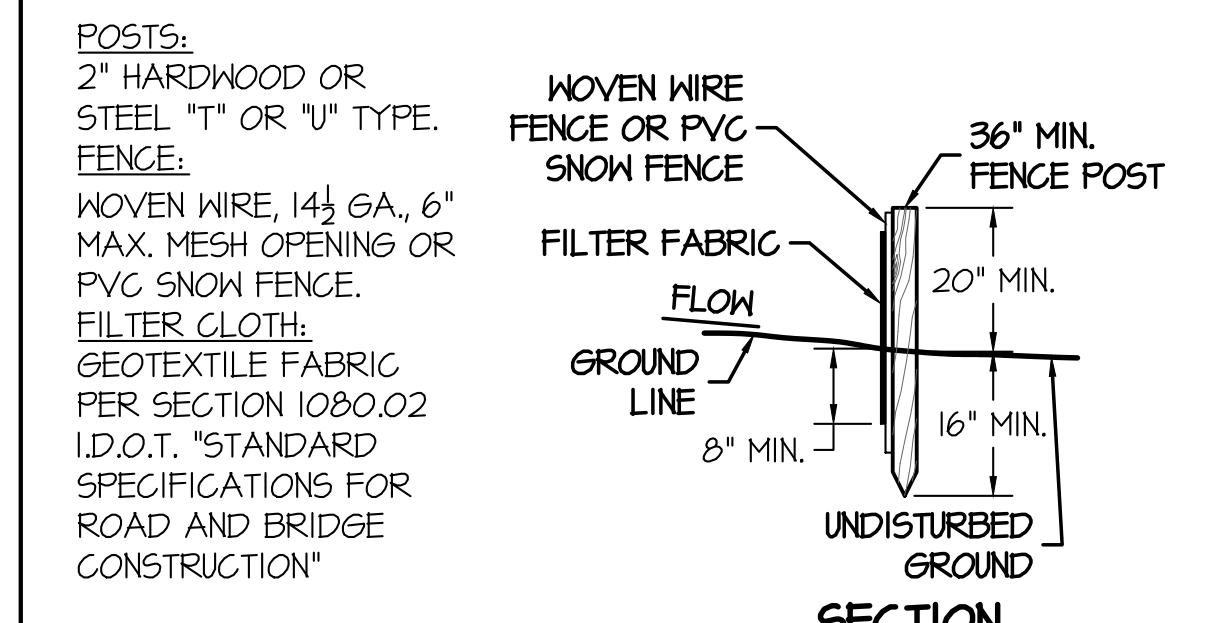
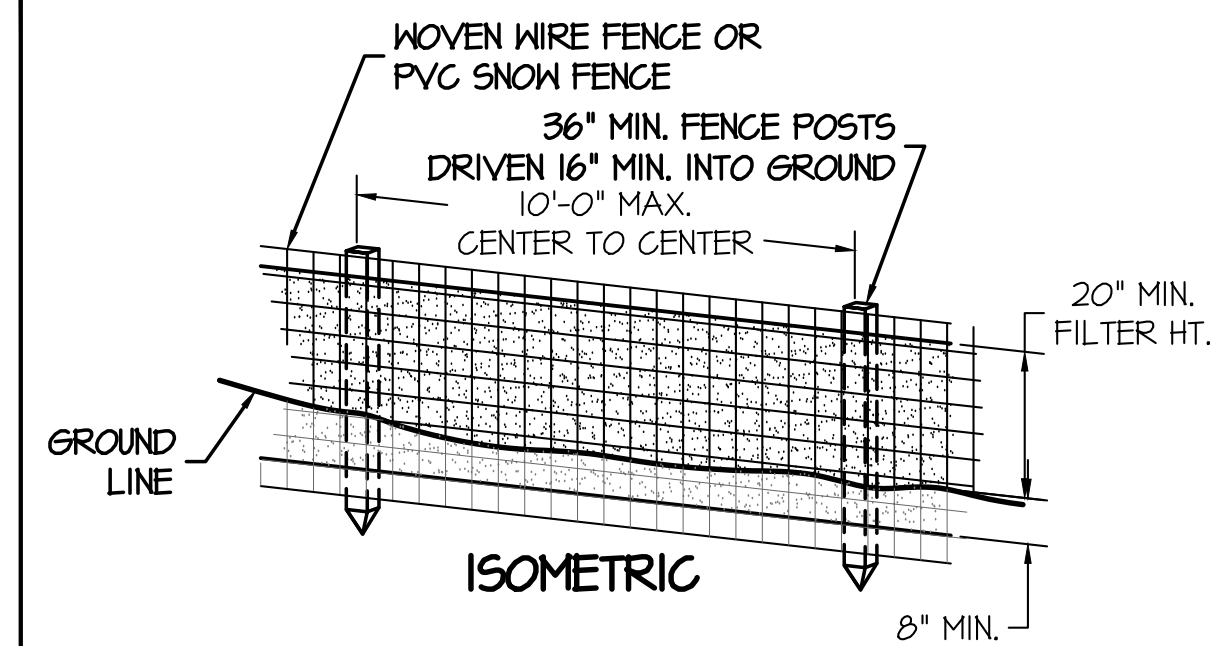
PLAN SET DATE

SHEET NUMBER
C6.0



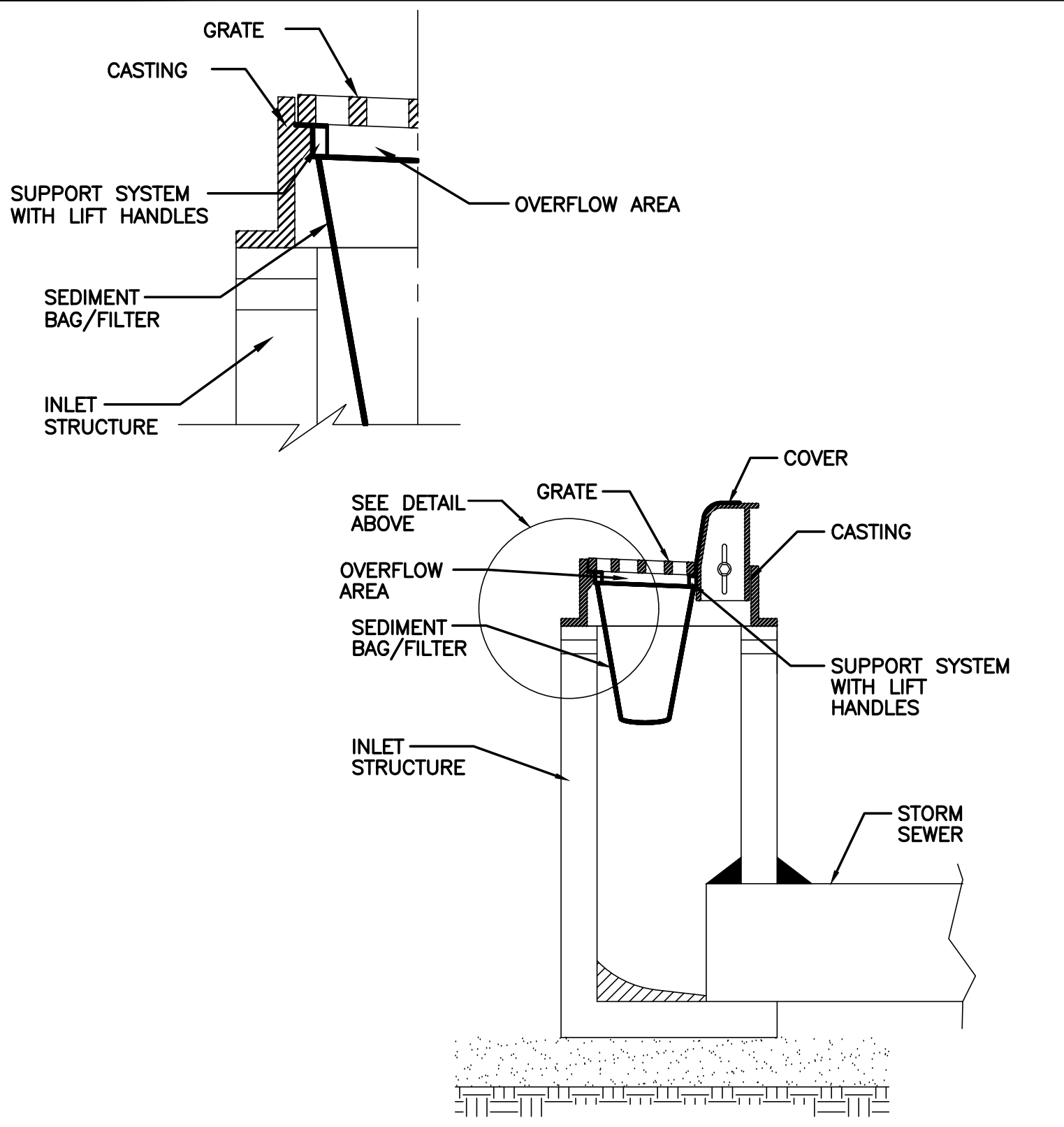
- CONSTRUCTION NOTES:**
- STONE SIZE - 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - SEE SITE PLAN FOR WIDTH. 10' MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - MIRAFI 600X OR EQUIVALENT WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EROSION CONTROL - STABILIZED CONSTRUCTION ENTRANCE A
SCALE: NO SCALE C6.1



- CONSTRUCTION NOTES:**
- WOVEN WIRE OR PVC FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - FILTER FABRIC/CLOTH SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED WHEN SECTIONS ADJOIN EACH OTHER.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
 - WHEN THE SILT FENCE CROSSES PAVED AREAS, UTILIZE SAND BAGS TO HOLD FILTER FABRIC TIGHTLY AGAINST PAVED SURFACE.

EROSION CONTROL - SILT FENCE B
SCALE: NO SCALE C6.1



STANDARD DWG. NO. IUM-561D
SHEET 1 OF 1
DATE 01-11-11

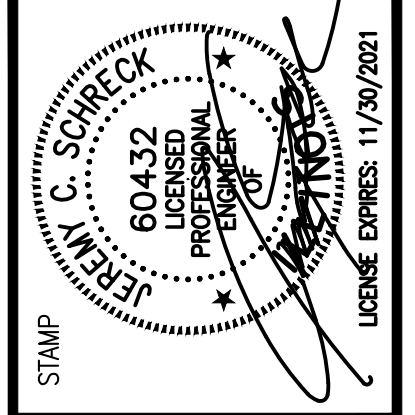
INLET PROTECTION - PAVED AREAS - DROP-IN PROTECTION C
SCALE: NO SCALE C6.1

EROSION & SEDIMENT CONTROL NOTES:

- GENERAL NOTES:**
 - Copies of the following Erosion Control Plan shall be kept on-site at all times. Any changes made to the plan must be noted, dated and installed by the contractor.
 - Other local, state or federal statutes or requirements which may affect the permit requirements for the project site:
 - NPDES construction storm water management discharge requirements.
 - United States Army Corps of Engineers.
 - Local sediment control ordinances. - City of Bloomington Erosion Control Permit
 - Hazardous waste concerns.
 - Protected species or historical preservation requirements.
 - Phasing of construction:
 - Call J.U.L.I.E. before construction begins.
 - Notify sediment and erosion control inspector 24 hours prior to beginning construction.
 - Install any storm drainage protection.
 - Clear and stabilize construction access to the site.
 - Perform any clearing and grading requirements for the installation of perimeter control measures.
 - Install all perimeter control measures and then notify sediment and erosion control inspector to obtain approval before proceeding.
 - Complete all necessary stockpiling, clearing and grading.
 - Apply temporary or permanent stabilization measures immediately on all areas in which work may be delayed or is complete. Large areas shall not remain unprotected for more than seven (7) days.
 - Install site utilities, construct building foundation and paved surfaces.
 - Complete final grading, stabilization and landscaping. When final landscaping and seeding maintains 70% coverage, notify sediment and erosion control inspector to obtain approval to remove sediment and erosion control measures.
- TOPSOIL STRIPPING AND STOCKPILING**
 - After all debris has been removed, topsoil shall be stripped and stockpiled in a predetermined area which does not interfere with existing or proposed drainage patterns.
 - Construct stabilized construction entrance(s) to minimize the deposition of sediment on adjacent roadways.
 - Silt fences or diversions directing runoff to temporary sediment basins shall be placed on the downhill side of areas disturbed by grading activities, to minimize silt from leaving the site.
 - All construction debris shall be kept away from ditches and streams to prevent runoff accumulation transporting debris downstream.
 - Silt fences shall be installed along the low side of the site where runoff from the construction activities could accumulate and leave the site or enter a ditch.
 - Silt traps or sediment basins shall be installed where shown on the plans or required by construction activities in accordance with the details shown on the plans to detain and filter runoff prior to discharge from the site.
 - Additional silt fencing should be installed around the stockpile to minimize silt transport off-site.

- GRADING OPERATIONS**
 - This is the critical time when sediment and erosion control measures must be consistently checked to ensure effectiveness. Measures should be repaired or replaced as often as necessary to meet the demands of the current site conditions.
 - Maintain previously installed sediment and erosion control measures as needed.
 - When a silt control measure is removed due to changing site conditions, it shall be immediately replaced with another measure of equal or greater effectiveness of sediment or erosion control.
 - Cut slopes shall be protected by the construction of swales at the top of the slopes to intercept runoff. Swales shall be protected with either straw bales, silt fences, etc. to minimize erosion and siltation.
 - Fill slopes shall be protected by the construction of berms at the top to prevent uncontrolled runoff draining down the face of the slope. Silt fences shall be placed at the toe of all fill slopes.
 - Final cut and fill slopes shall be covered with six (6") inches of topsoil, temporary seeded and mulched as soon as grading operations are complete.
 - Portions of the site which are graded to finished grade shall be covered with six (6") inches of topsoil, seeded and mulched as soon as grading is complete.
 - Storm sewer should be constructed as soon as possible in the construction sequence and concurrent to the grading operation whenever possible. Construction runoff should be directed to the storm sewer system as soon as possible.
- STORM SEWER & UTILITY INSTALLATION**
 - Completed after or concurrent with the Grading Operation Phase. Storm sewer should be installed and put into service as early in the construction sequence as possible.
 - Protect storm sewer inlets to prevent sediment from entering pipes.
 - Riprap as shown on the plans shall be installed as required to prevent the migration of sediment by velocity of runoff. Silt fence shall be utilized to prevent the deposition of silt in the riprap until final stabilization has been established.
 - Additional silt fence may be required to prevent erosion and siltation resulting from stockpiled excavation material from utility installation operations.
- FINAL GRADING, PAVED SURFACE INSTALLATION AND LANDSCAPING**
 - All sediment and erosion control measures installed in the previous phase(s) shall be maintained, modified or removed as required.
 - Silt traps around inlets shall be maintained, modified as necessary and removed when applicable.
 - All disturbed areas shall be covered with 6" of topsoil, seeded and mulched as soon as grading is complete.

- INSPECTION AND MAINTENANCE INSTRUCTIONS**
 - Disturbed areas of the construction site and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are functioning properly. Where discharge locations are accessible, they shall be inspected to determine if erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
 - The contractor is required to maintain temporary erosion control measures in proper working order, including cleaning, repairing or replacing them throughout the work. Any necessary repairs shall be initiated within 24 hours of a reported failure or deficiency.
 - Maintain temporary and permanent erosion control measures in good working order by cleaning, repairing, replacement and sediment removal throughout the permit period. Cleaning of silt control devices shall be performed when the features have lost 50% of their capacity.
- COMPLETION**
 - Inspect the site to ensure that ground cover is complete and adequate. All areas should either be paved or have a minimum of 70% ground cover without apparent erosion.
 - When ground cover inspection is made and approved, all temporary structural erosion controls (silt fence, etc.) may be removed along with any accumulated silt and debris. All areas disturbed by the removal of the erosion control measures shall be fine graded, seeded and mulched as required.
 - If problems are uncovered during inspection, perform appropriate repairs and re-inspect prior to removal of erosion controls.
 - All existing and constructed storm sewers shall be inspected upon the removal or erosion and sediment controls. If there is any sediment and/or construction debris, Contractor shall clean structures and pipes.
- MISCELLANEOUS**
 - No fuel or oil shall be stored on-site without proper containment.
 - No oils or gas shall be dumped on-site.
 - A designated concrete wash-out area shall be identified on-site. All affected soil and concrete spoils in this area shall be removed from the site upon completion of concrete placement activities.
 - Any non-storm discharges, including but not limited to fire hydrant flushing, etc. shall be prevented from allowing sediment transport in the storm sewer.
 - Any non-storm discharges that contain hazardous materials shall be prevented from entering the storm sewer system and collected and disposed of in an approved manner.



NO.	DATE	APPR.	DESCRIPTION

SCALE: AS NOTED
DRAWN BY: JCS
DATE: 7/29/20
CHECKED BY: JCS
DATE: 7/29/20

PROJECT:
SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
EROSION CONTROL NOTES

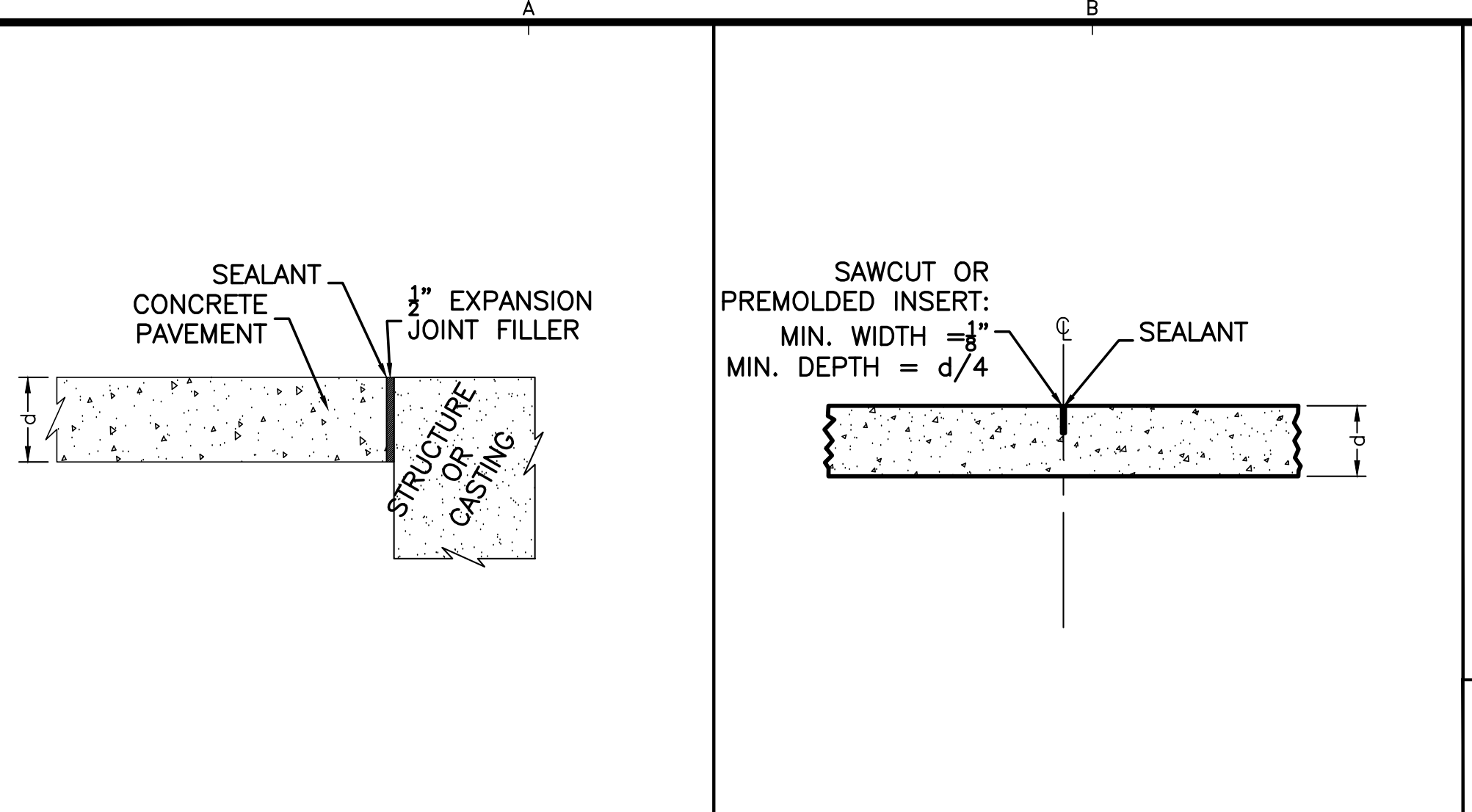
Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 Fax: 309-827-4394
Design Firm No. 184-004822 Expires: 4/30/2021

PROJECT NO. 016873

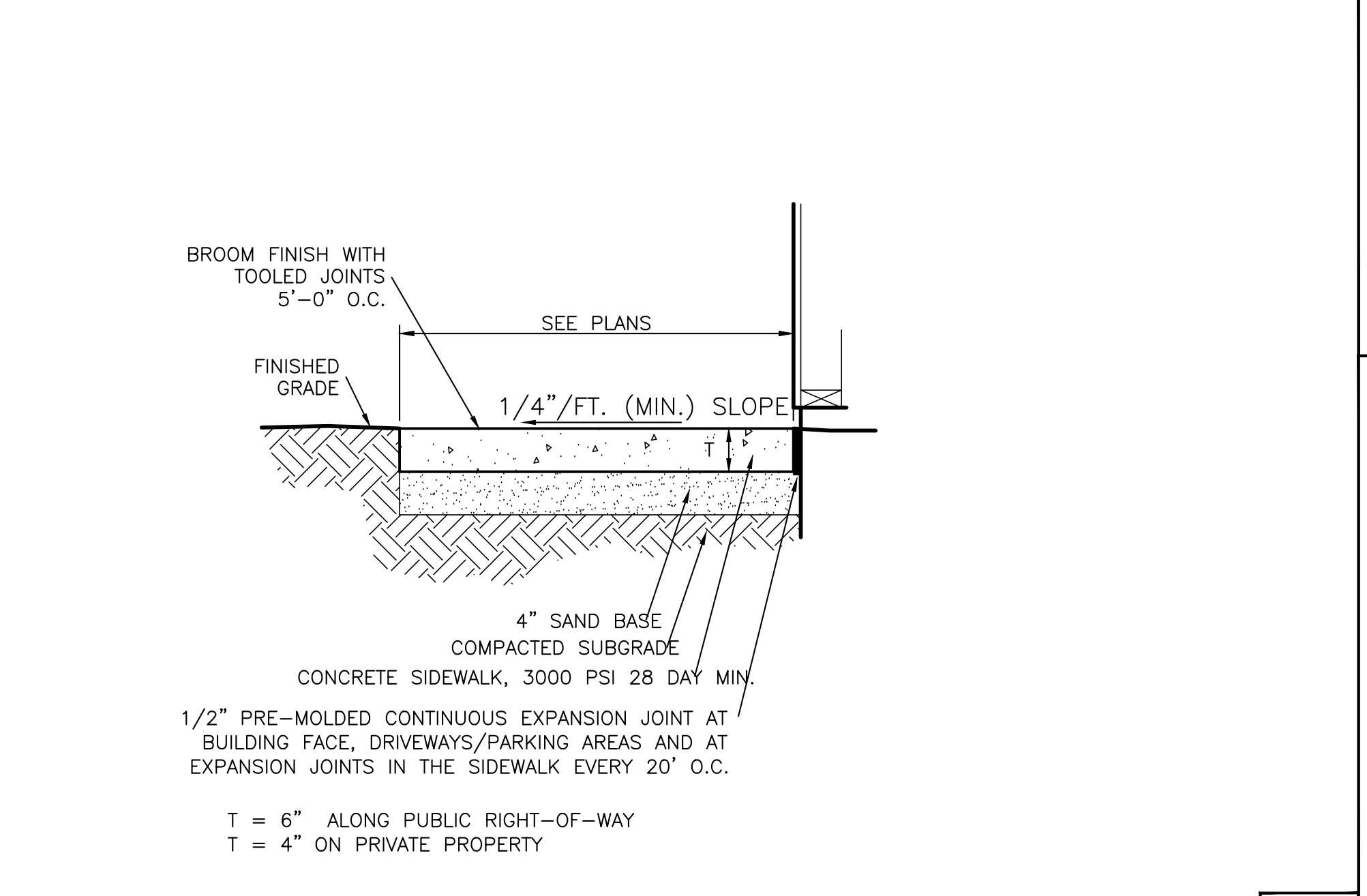
PLAN SET DATE

SHEET NUMBER C6.1

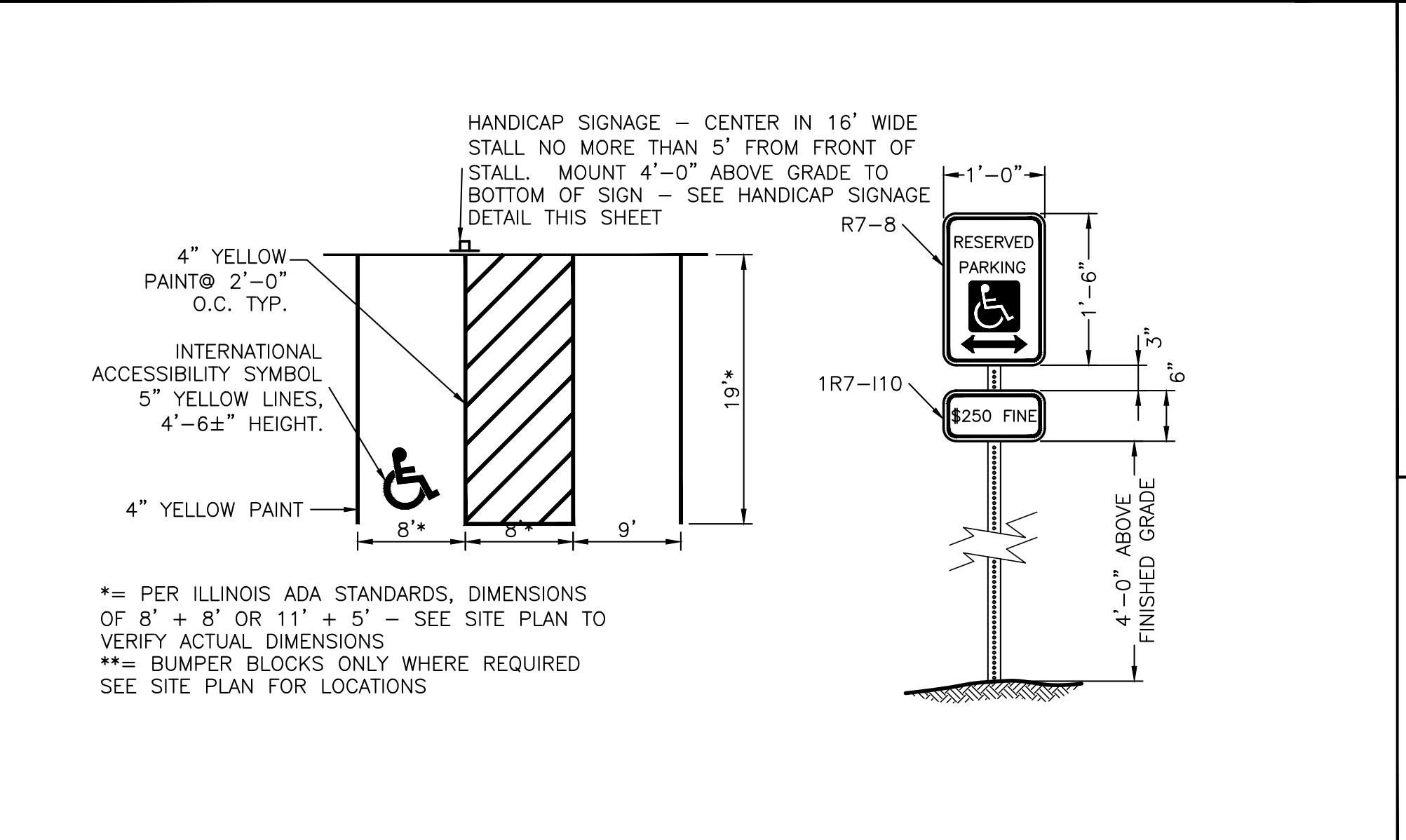
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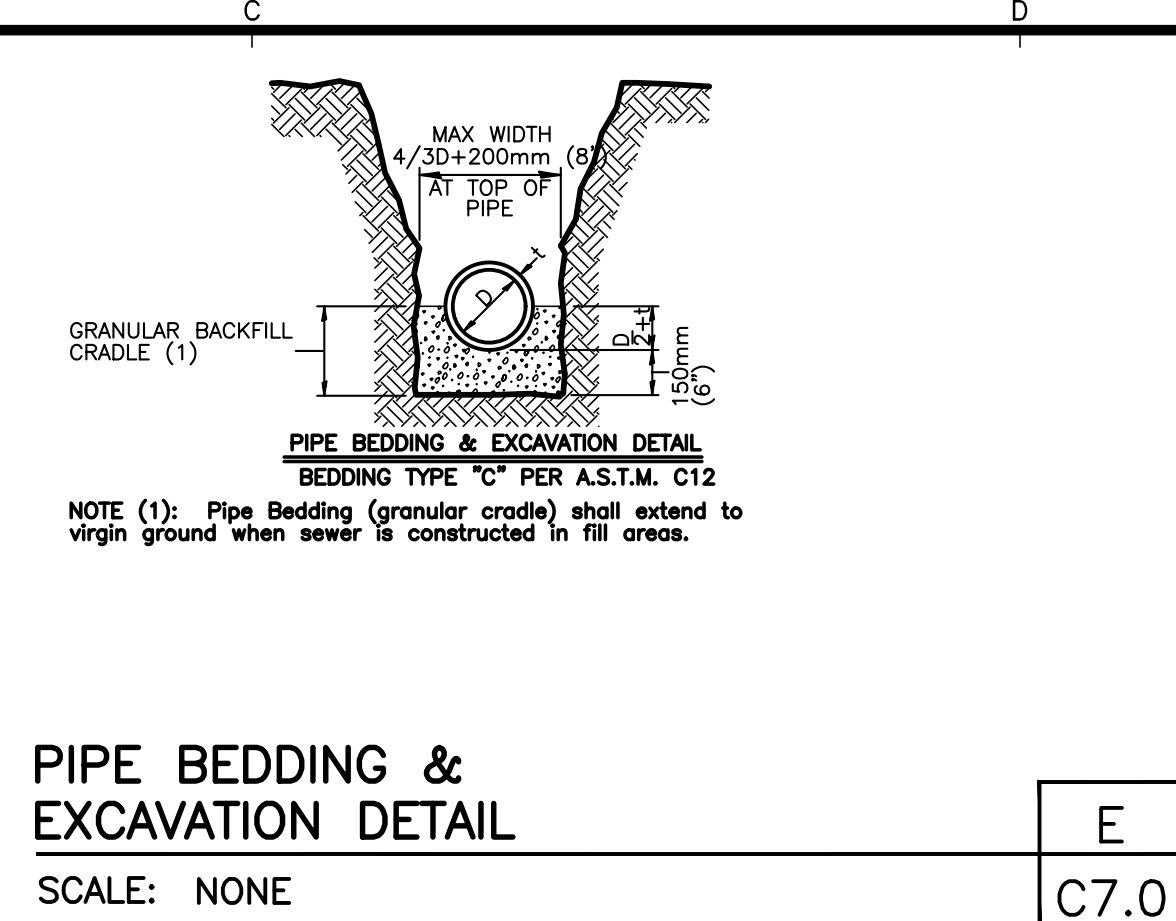
ISOLATION JOINT SCALE: NO SCALE
CONTROL JOINT SCALE: NO SCALE



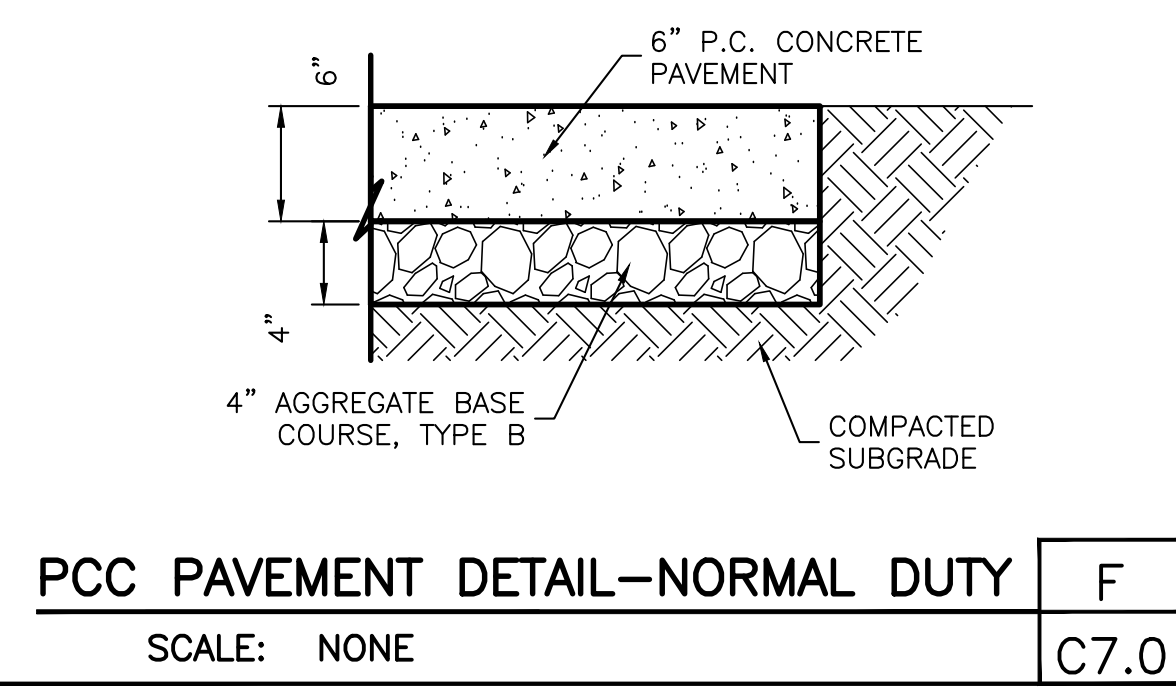
SIDEWALK DETAIL SCALE: NO SCALE



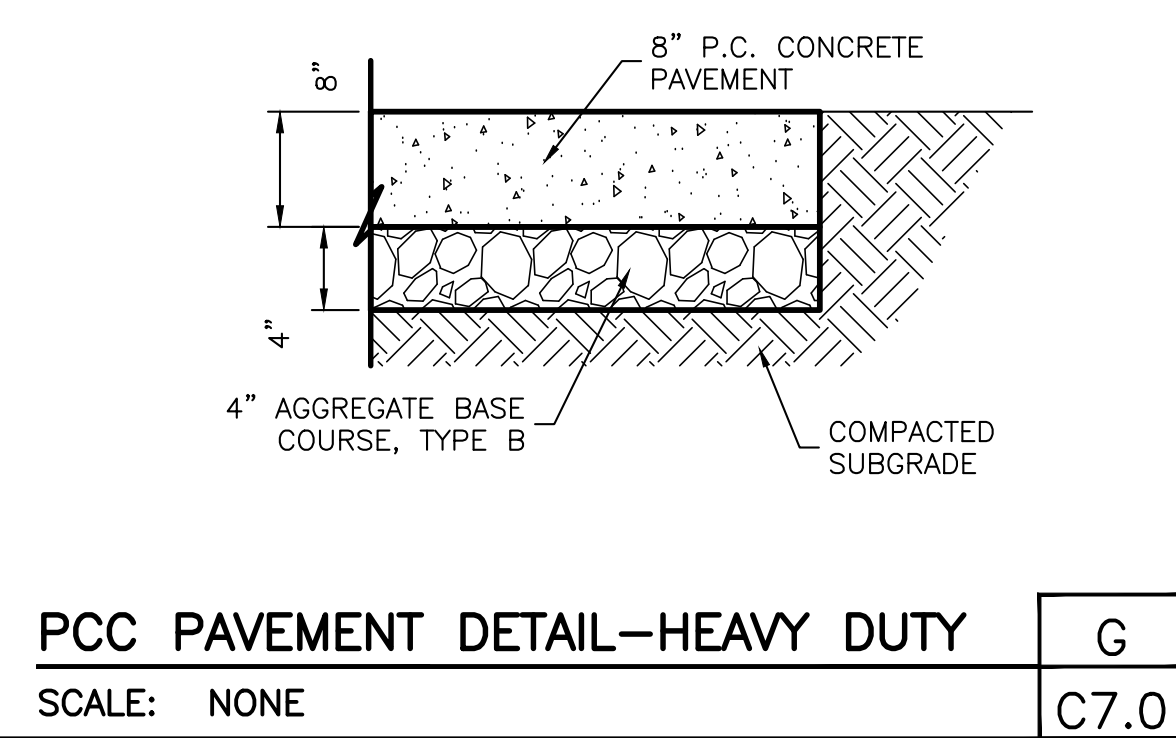
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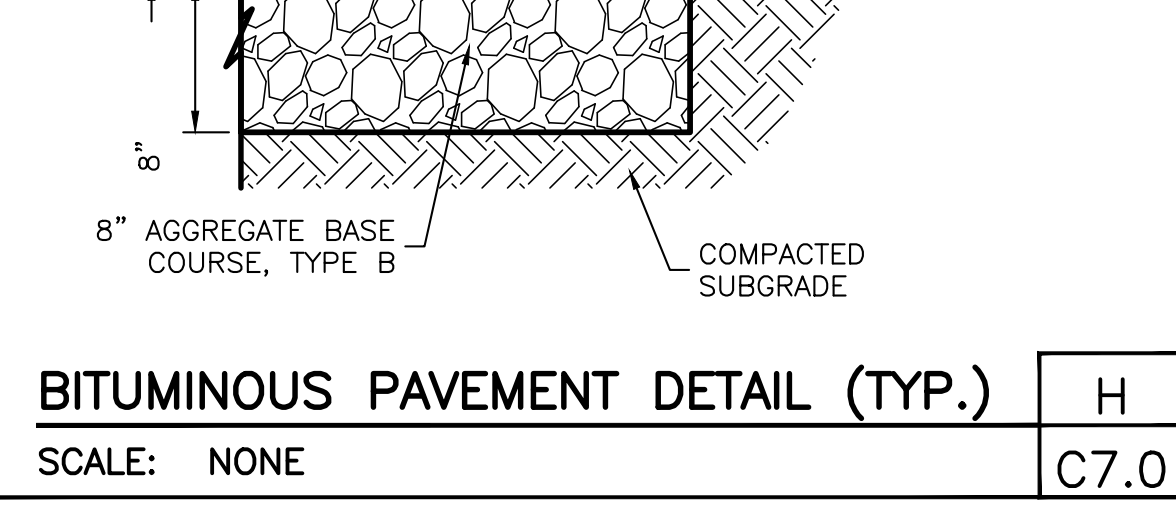
PIPE BEDDING & EXCAVATION DETAIL SCALE: NONE



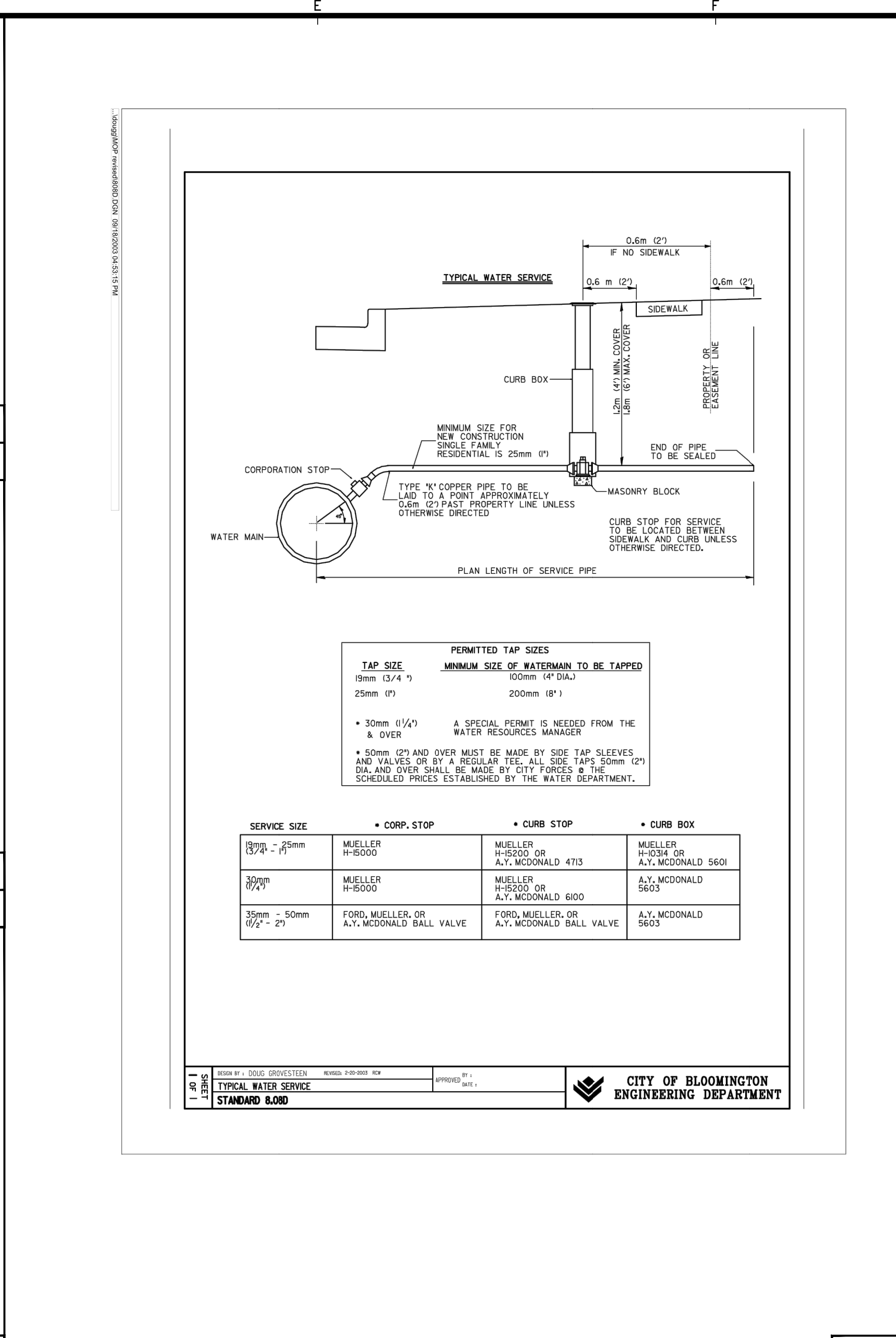
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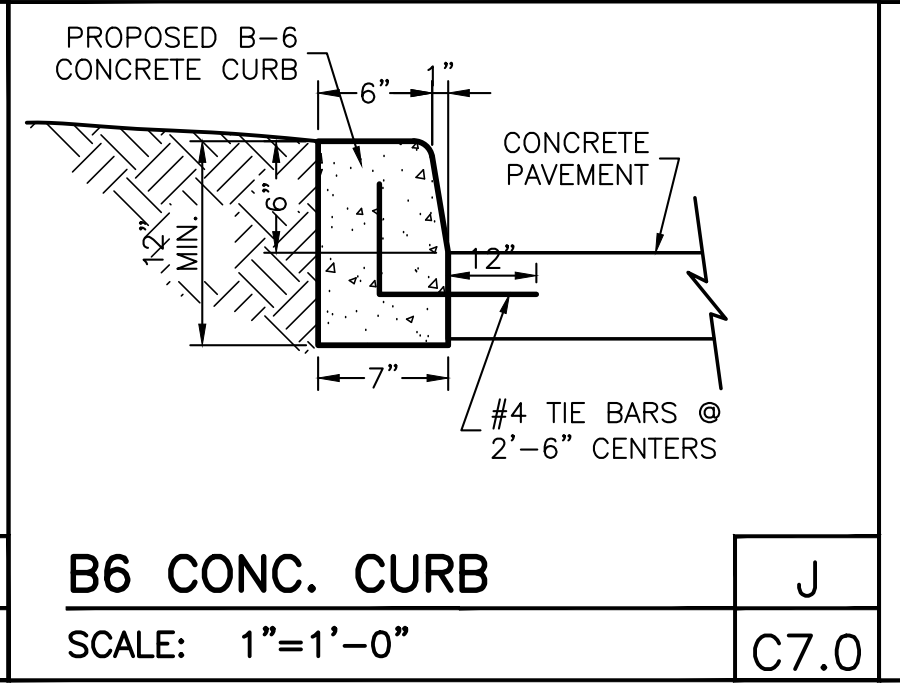
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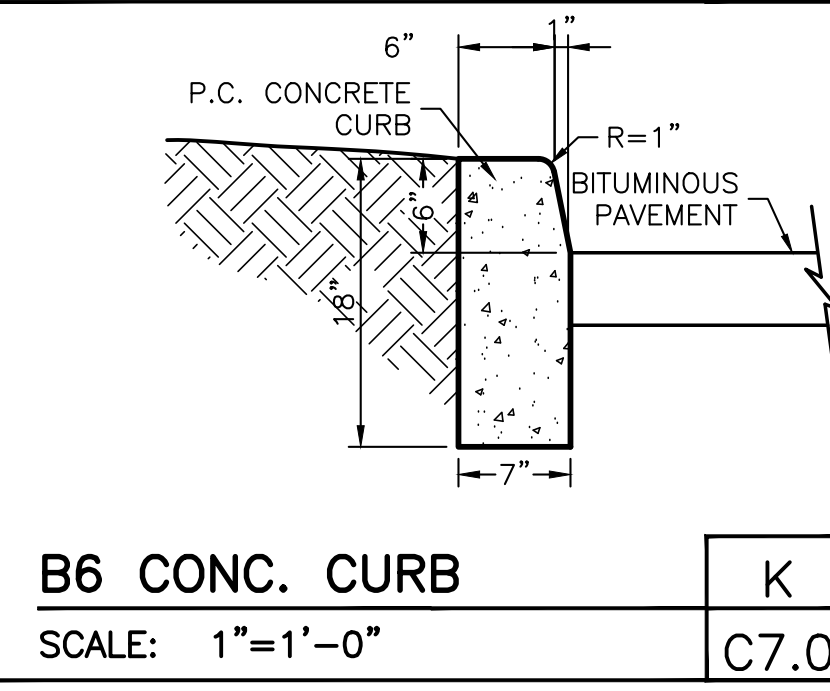
BITUMINOUS PAVEMENT DETAIL (TYP.) SCALE: NONE



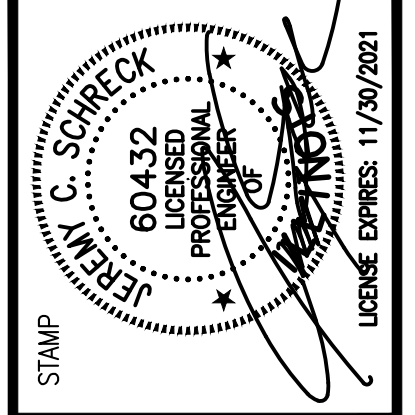
WATER SERVICE DETAIL SCALE: NO SCALE



B6 CONC. CURB SCALE: 1"=1'-0"



B6 CONC. CURB SCALE: 1"=1'-0"



REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SCALE AS NOTED

DATE	BY	CHECKED BY
7/29/20	NPM	JCS

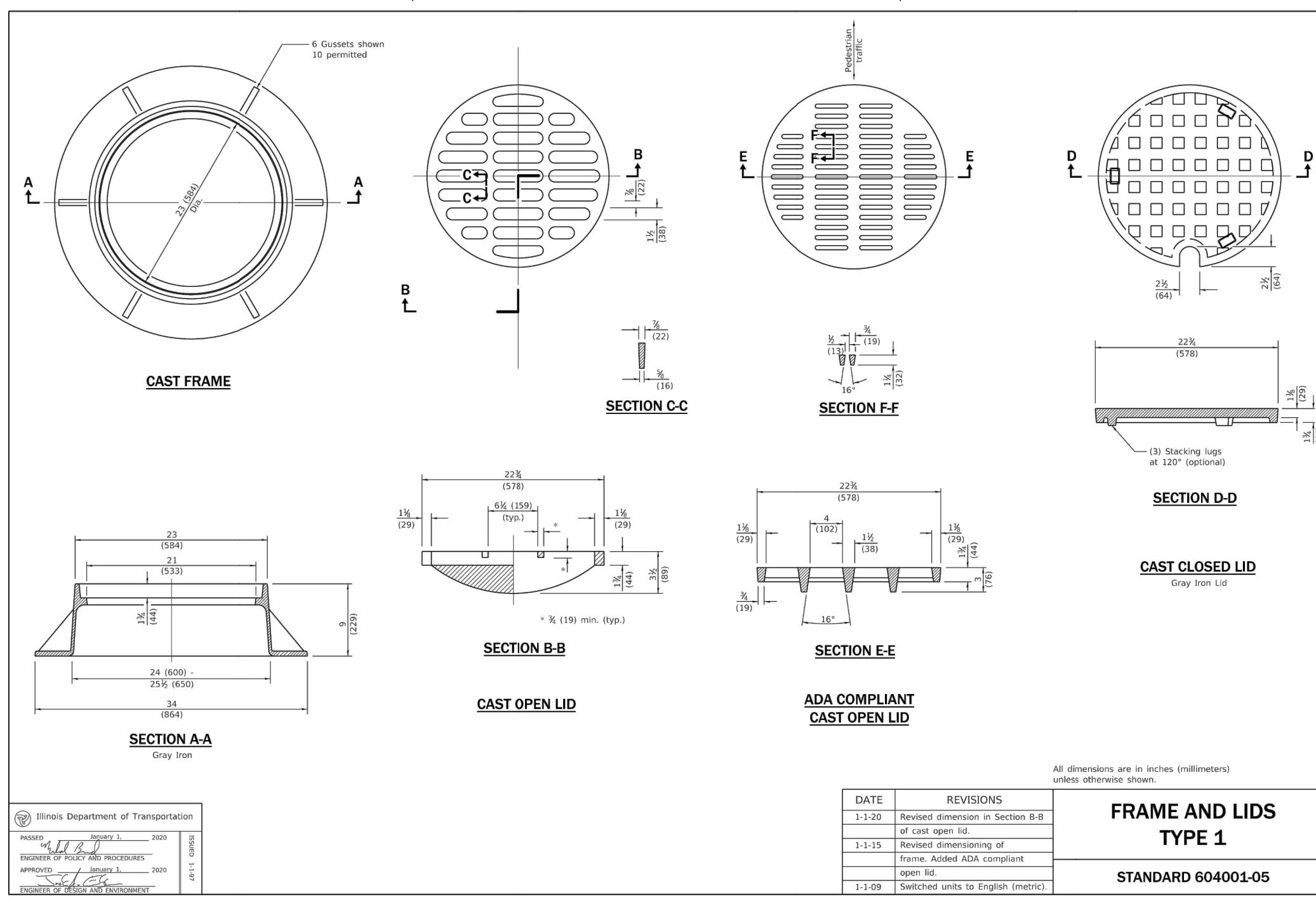
PROJECT
SPEED LUBE
 1209 HOLIDAY DRIVE
 LOT 1, B&E SUBDIVISION
 CITY OF BLOOMINGTON, ILLINOIS
STANDARD DETAILS

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4335 Fax: 309-827-4394
 Design Firm No. 184-004622 Expires: 4/30/2021

PROJECT NO.
016873

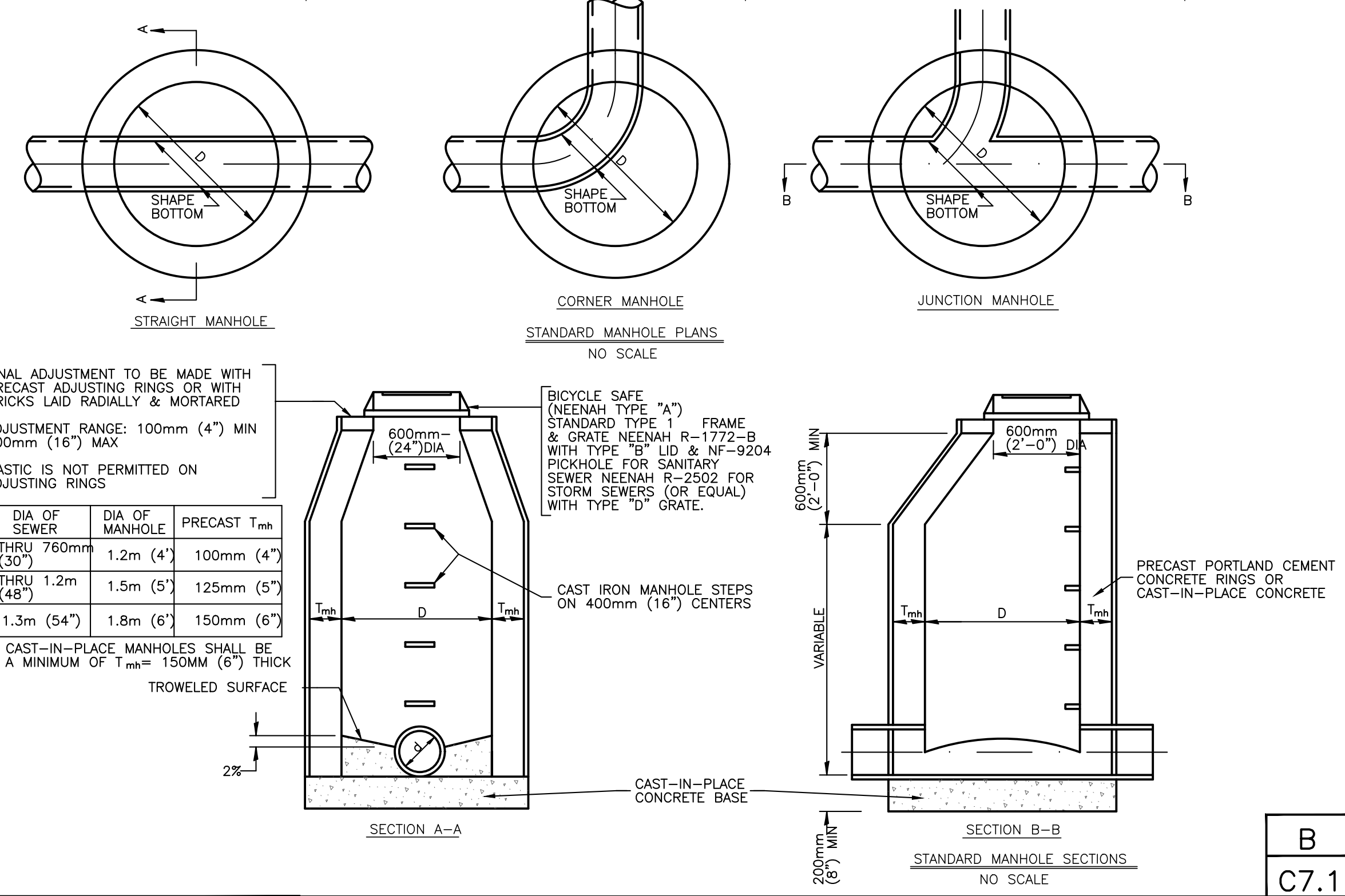
PLAN SET DATE

SHEET NUMBER
C7.0



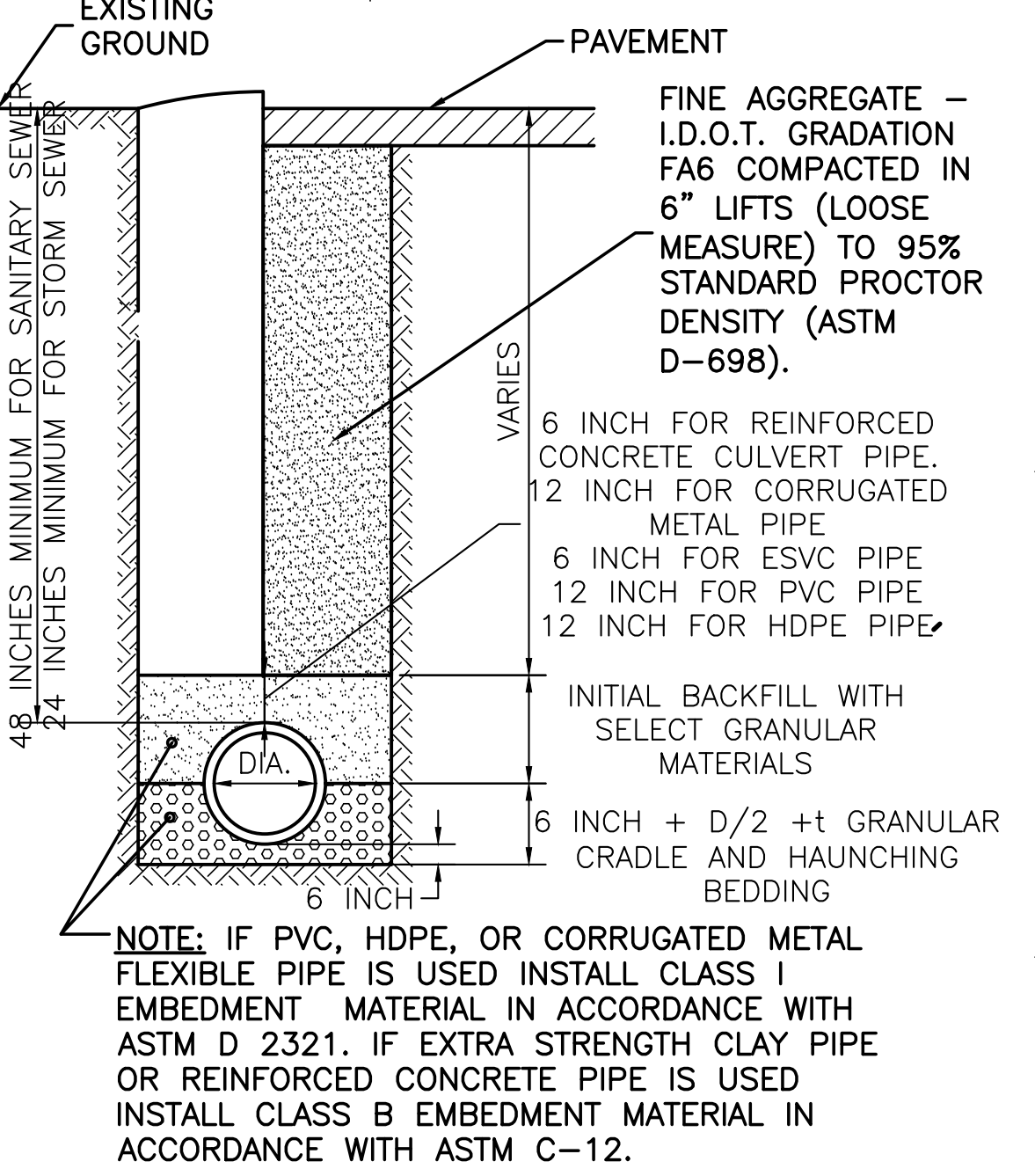
DATE	REVISIONS
1-1-20	Revised dimension in Section B-B of cast open lid
1-1-15	Revised dimensioning of frame, added ADA compliance open lid
1-1-09	Switched units to English (metric)

FRAME AND LIDS TYPE 1
STANDARD 604001-05

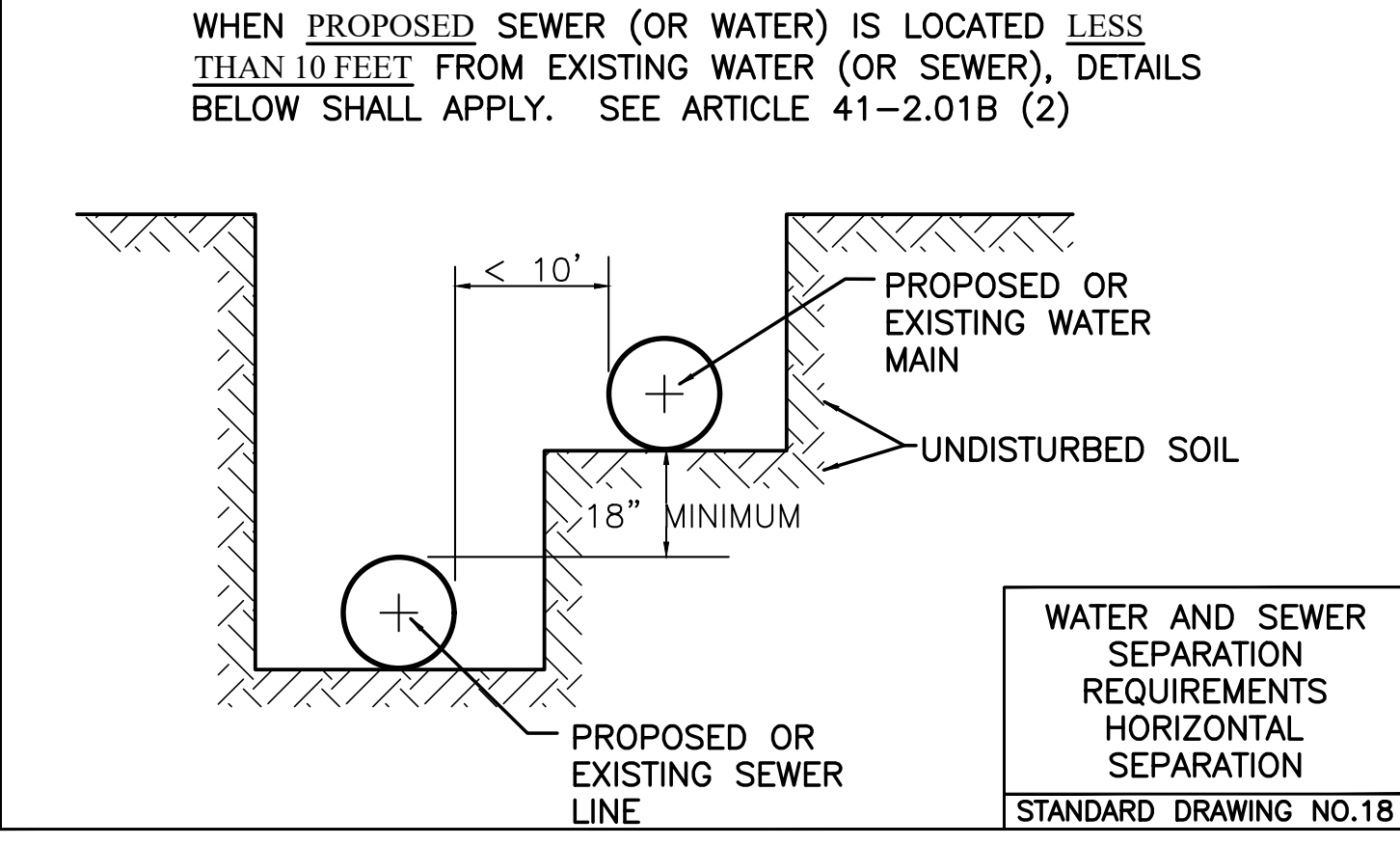
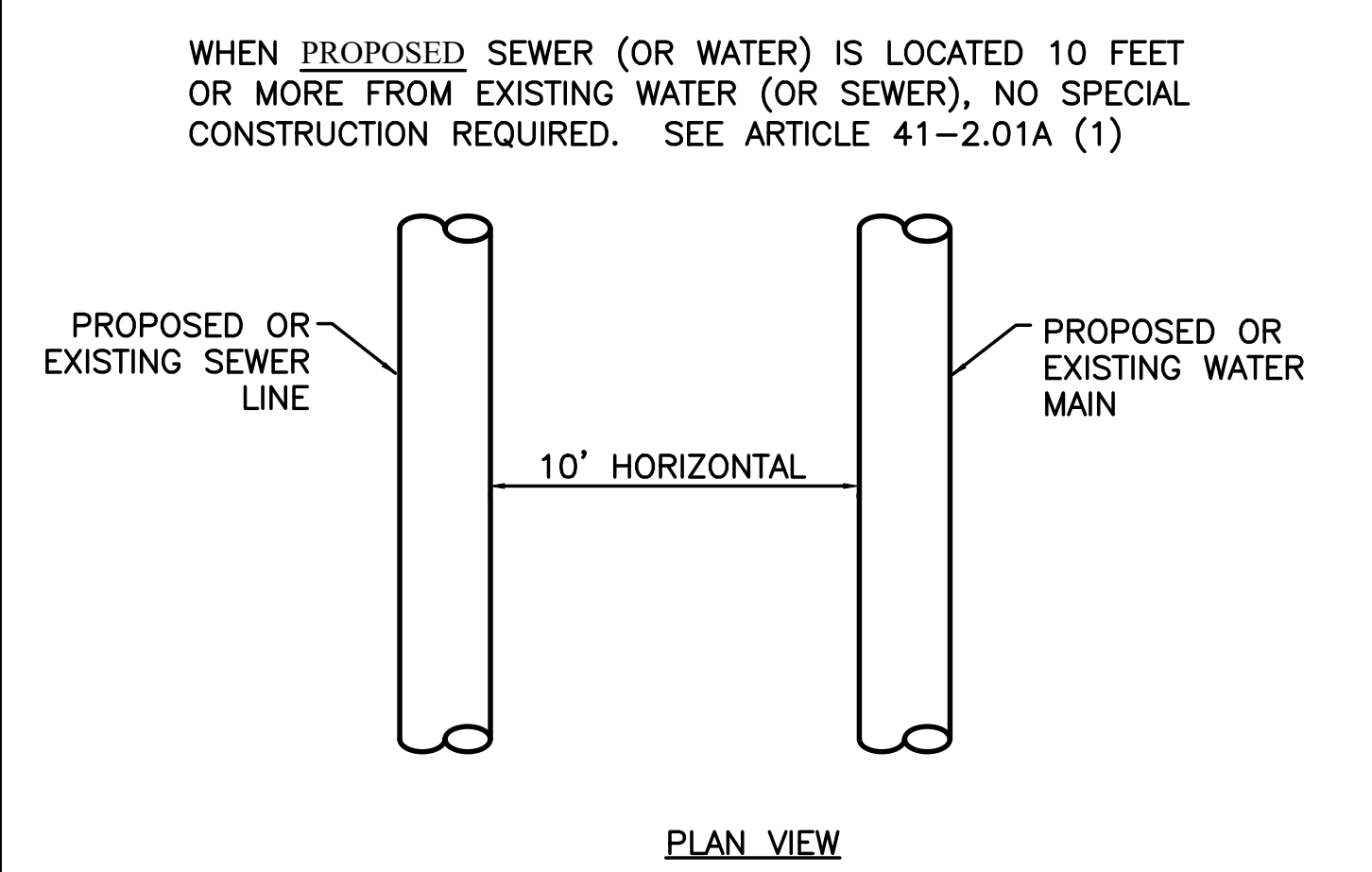


DIA OF SEWER	DIA OF MANHOLE	PRECAST T _{mb}
THRU 760mm (30")	1.2m (4')	100mm (4")
THRU 1.2m (48")	1.5m (5')	125mm (5")
1.3m (54")	1.8m (6')	150mm (6")

CAST-IN-PLACE MANHOLES SHALL BE A MINIMUM OF T_{mb}= 150MM (6") THICK TROWELED SURFACE

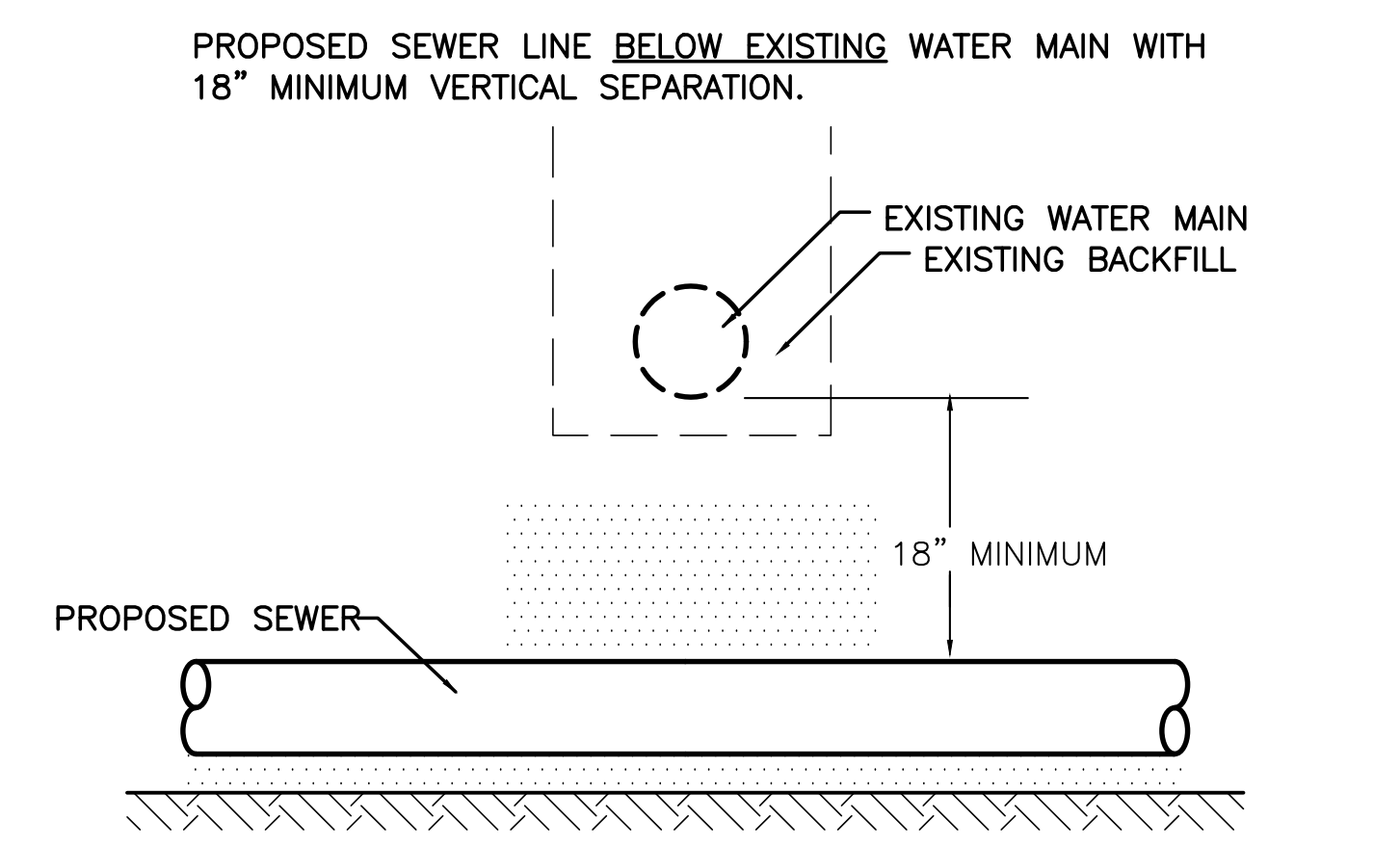


B SANITARY/STORM TRENCH DETAIL
SCALE: NO SCALE



WATER AND SEWER SEPARATION REQUIREMENTS HORIZONTAL SEPARATION
STANDARD DRAWING NO.18

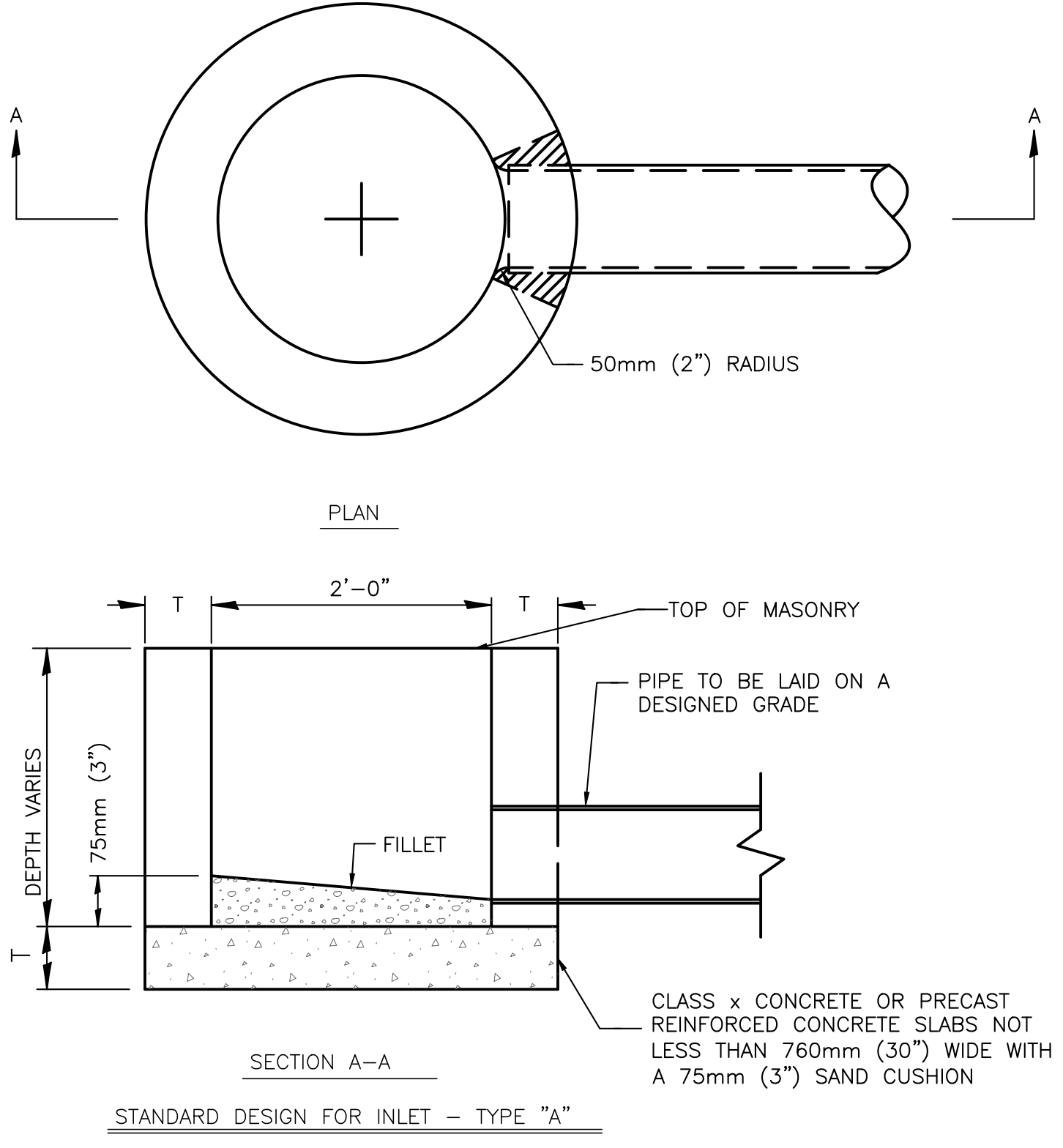
WATER AND SEWER SEPARATION REQUIREMENTS-HORIZONTAL SEPARATION
SCALE: NO SCALE



GUIDELINES
1. PROVIDE ADEQUATE SUPPORT FOR EXISTING WATER MAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

WATER AND SEWER SEPARATION REQUIREMENTS
VERTICAL SEPARATION
STANDARD DRAWING NO.20

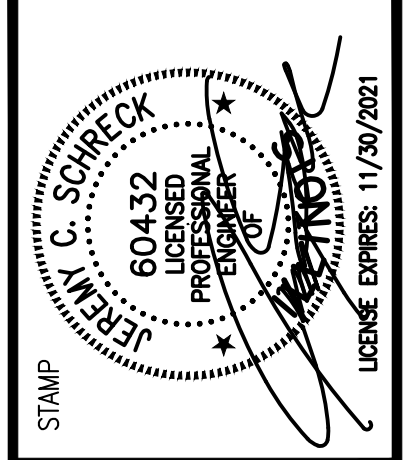
WATER AND SEWER SEPARATION REQUIREMENTS-VERTICAL SEPARATION
SCALE: NO SCALE



MATERIALS PERMITTED FOR INLETS	T MINIMUM
PRECAST REINFORCED CONCRETE SECTIONS	75mm (3")
CAST-IN-PLACE CONCRETE	150mm (6")

BRICKS AND MORTAR SHALL BE USED ONLY FOR ADJUSTMENTS

INLET TYPE A DETAIL
SCALE: NO SCALE



NO.	DATE	APPR.	DESCRIPTION

AS NOTED
DRAWN BY: NPM
DATE: 7/29/20
CHECKED BY: JCS
DATE: 7/29/20

PROJECT
SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
STANDARD DETAILS

Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 Fax: 309-827-4394
Design Firm No. 184-004522 Expires: 4/30/2021

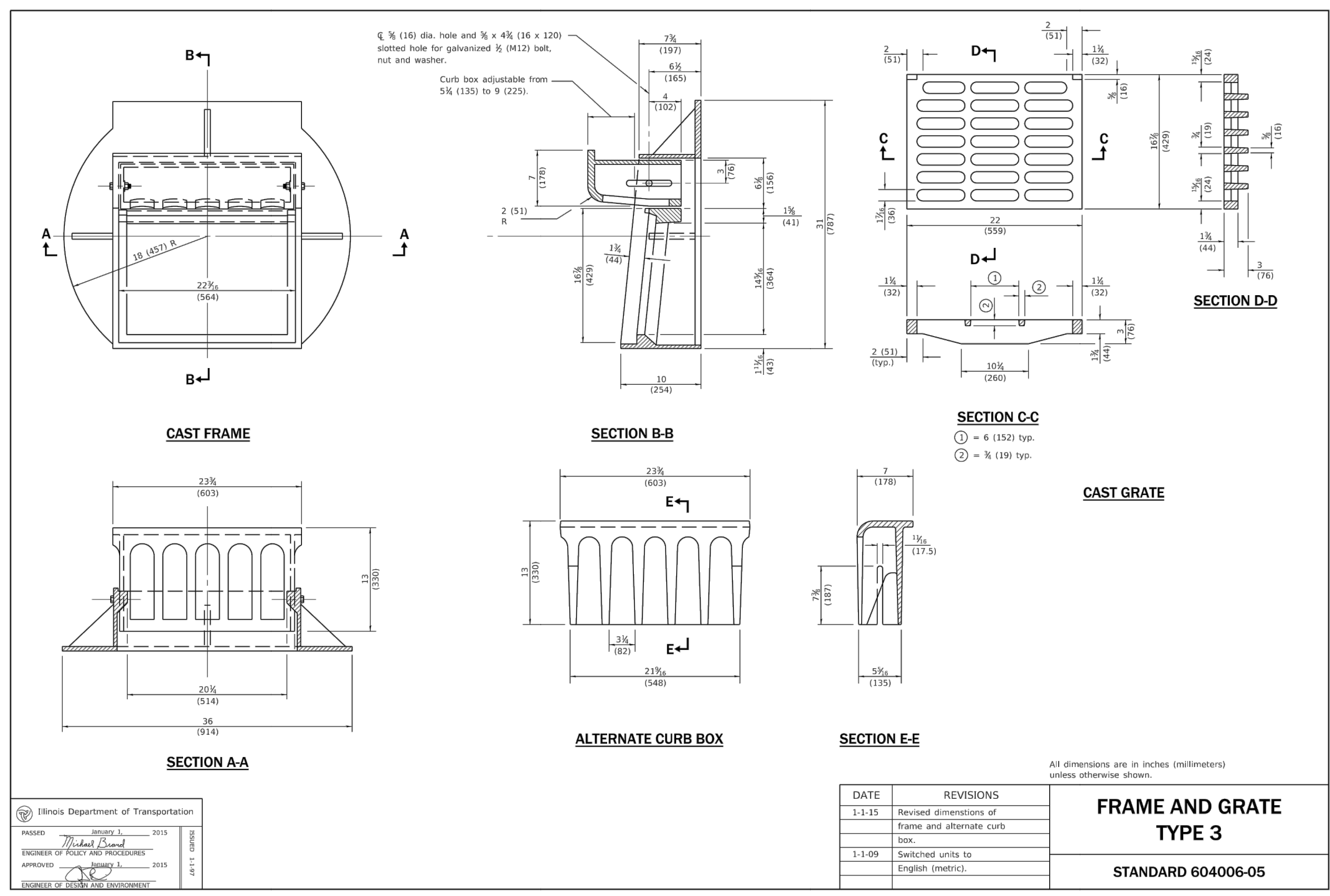
PROJECT NO.
016873

PLAN SET DATE

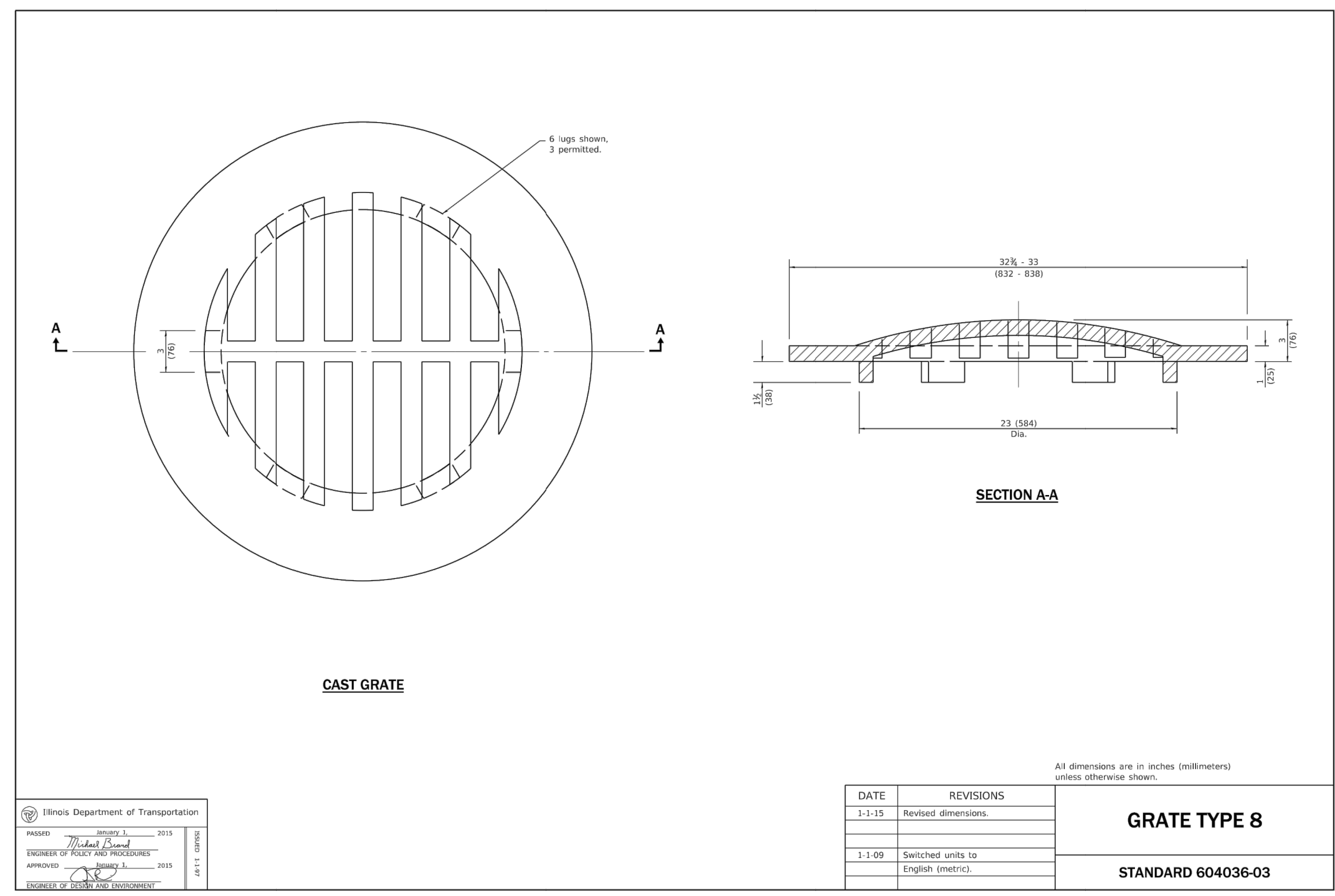
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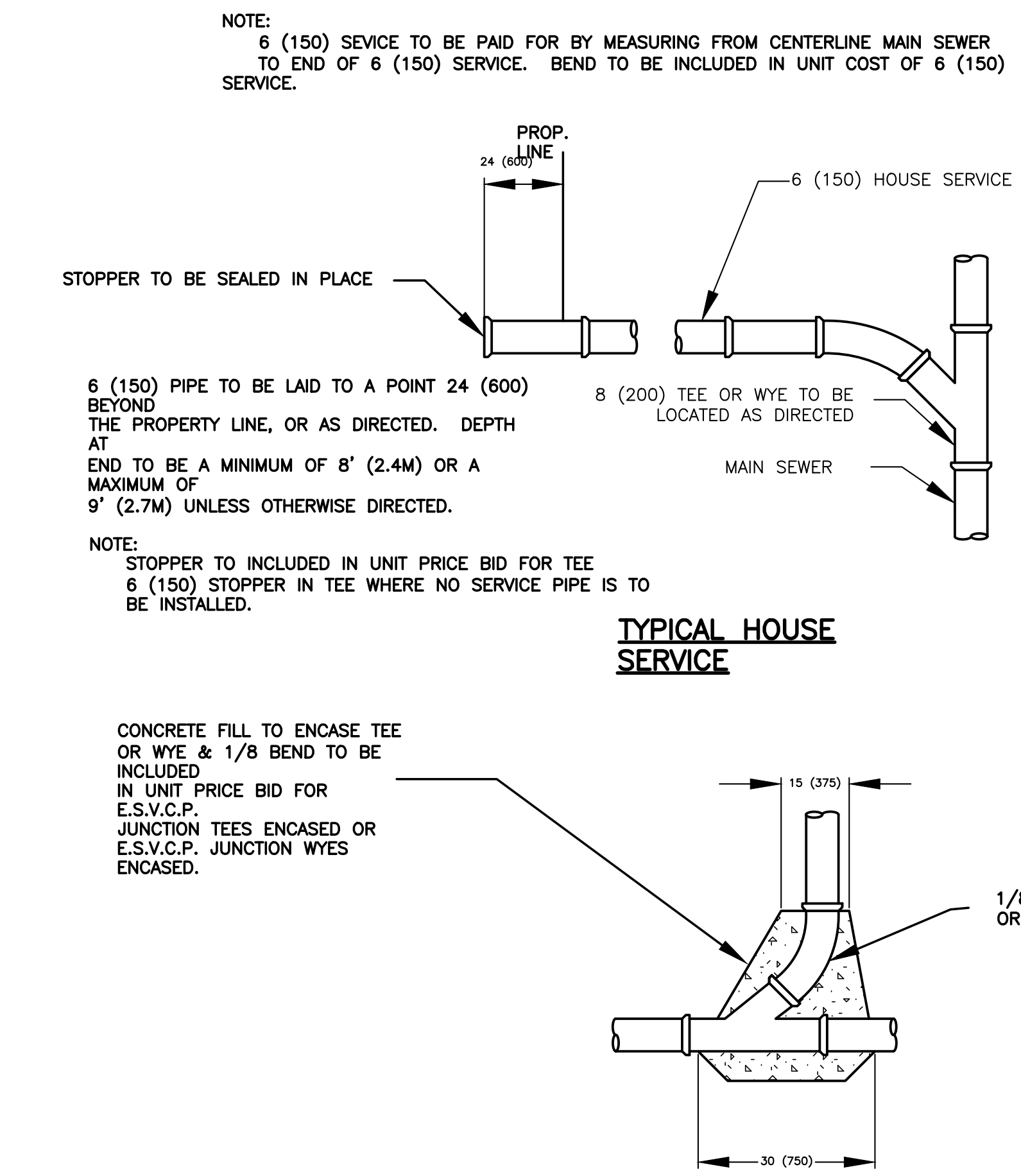
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A
C7.2

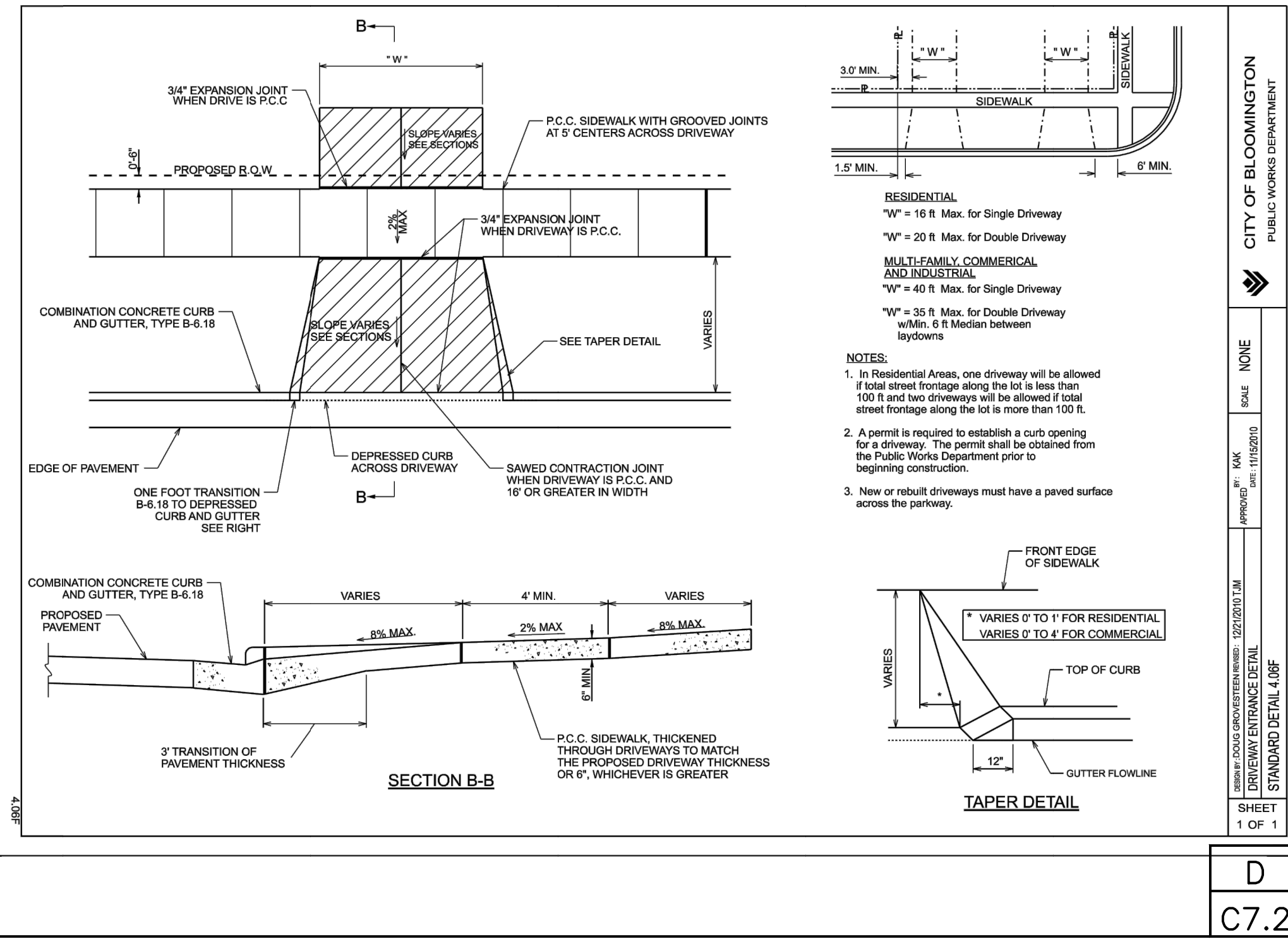


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C7.2

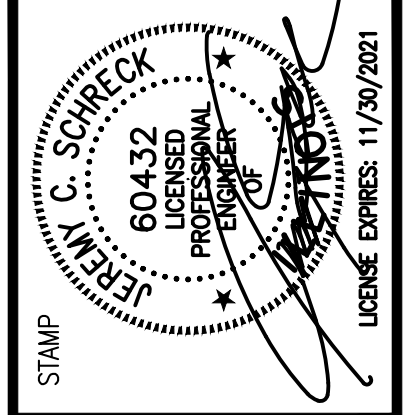


SANITARY SERVICE CONNECTION DETAIL
SCALE: NO SCALE

C
C7.2



D
C7.2



REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SCALE: AS NOTED
DRAWN BY: NPM
DATE: 7/29/20
CHECKED BY: JCS
DATE: 7/29/20

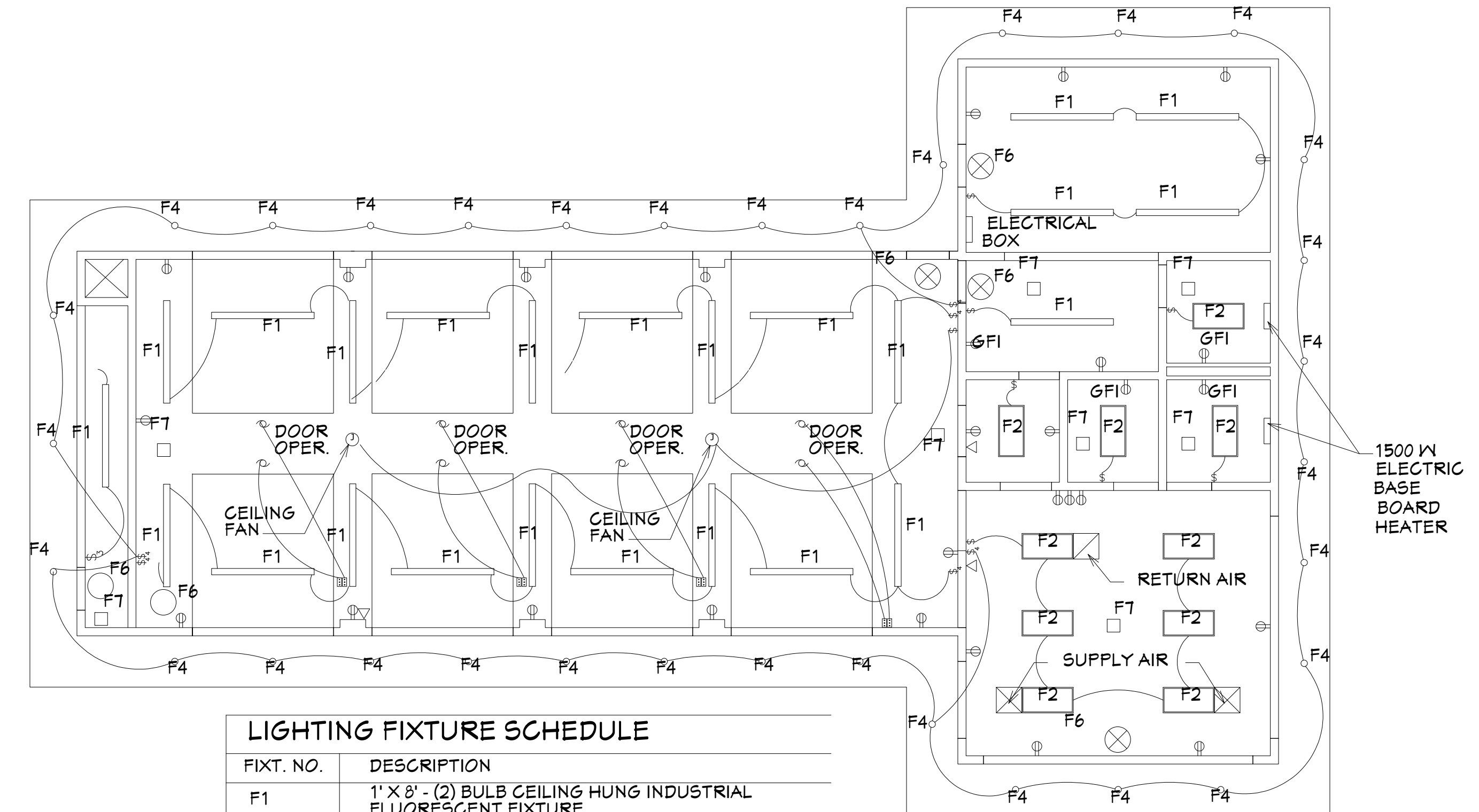
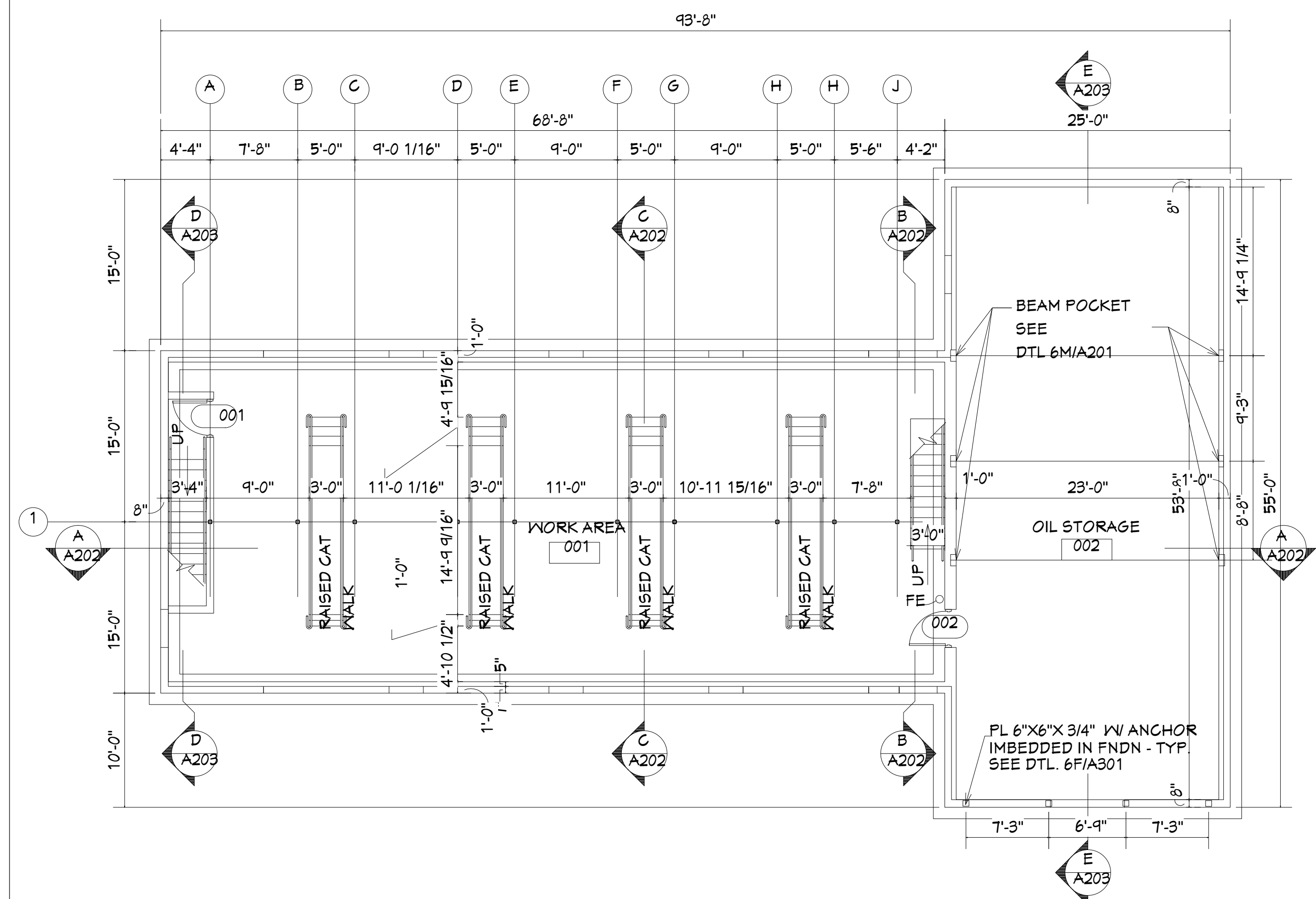
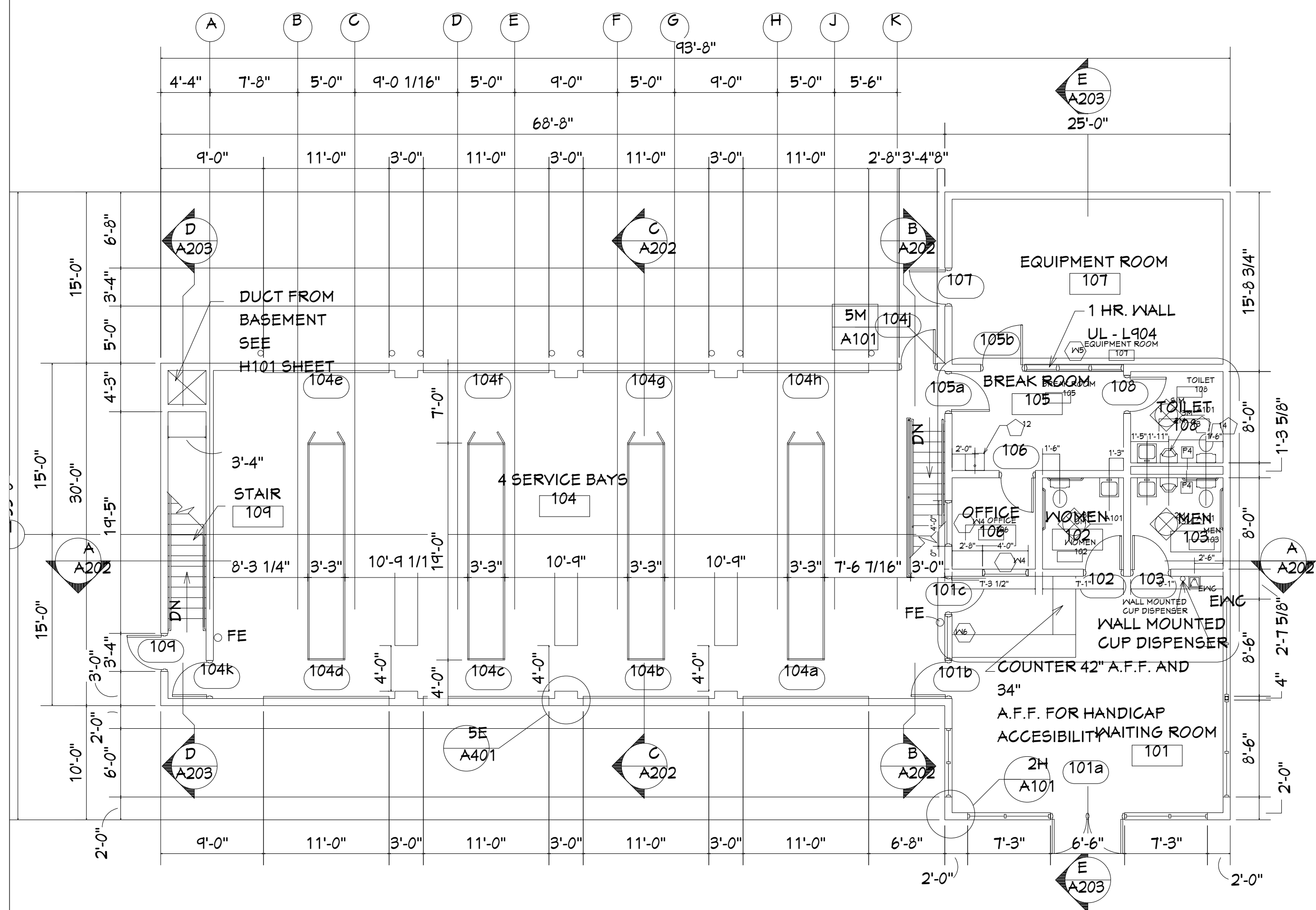
PROJECT
SPEED LUBE
1209 HOLIDAY DRIVE
LOT 1, B&E SUBDIVISION
CITY OF BLOOMINGTON, ILLINOIS
STANDARD DETAILS

PROJECT NO.
016873

PLAN SET DATE

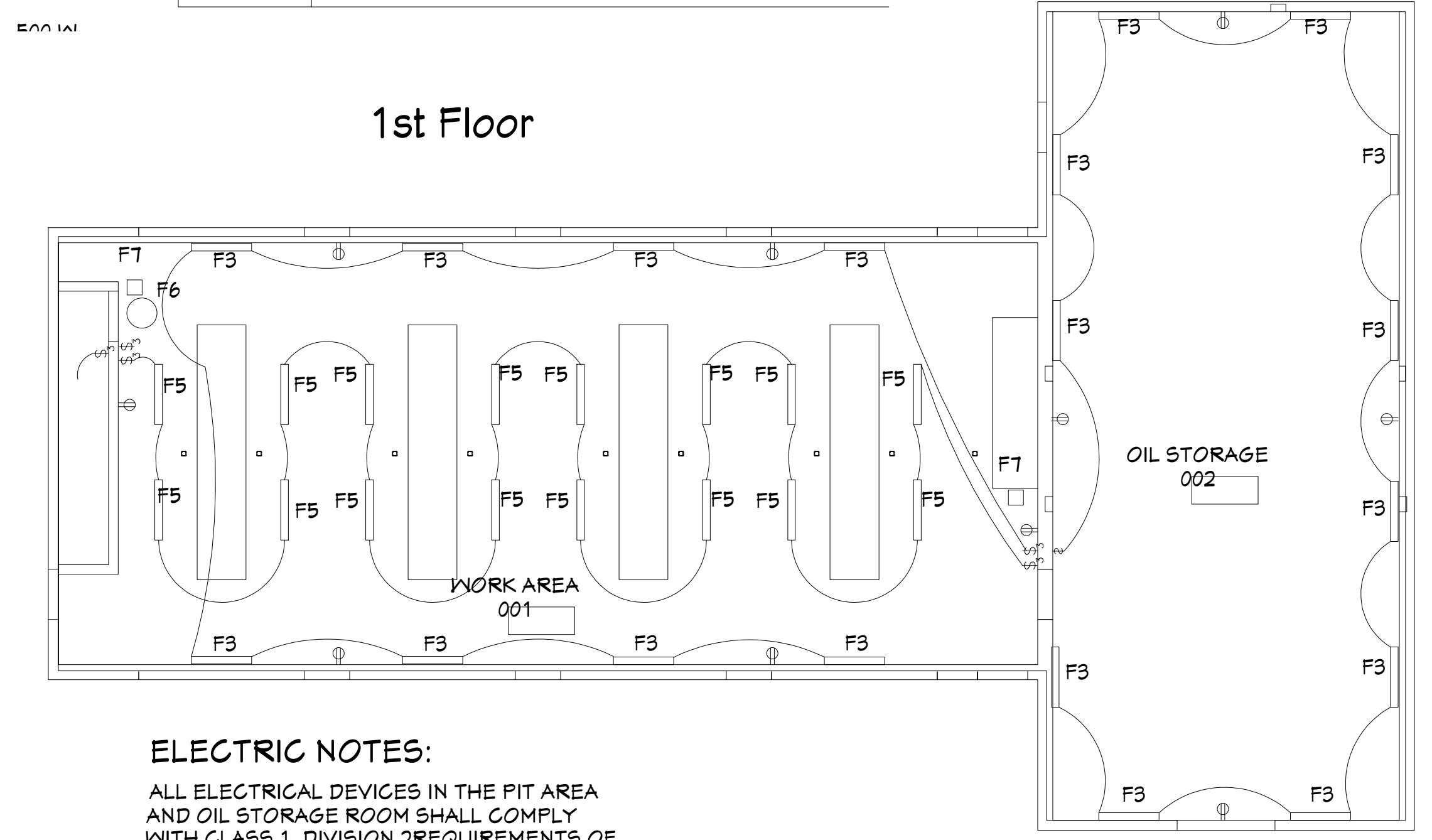
SHEET NUMBER
C7.2

PROJECT
Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335
Fax: 309-827-4394
Design Firm No. 184-004522 Expires: 4/30/2021



LIGHTING FIXTURE SCHEDULE

FIXT. NO.	DESCRIPTION
F1	1' X 8' - (2) BULB CEILING HUNG INDUSTRIAL FLUORESCENT FIXTURE
F2	2' X 4' - (2) BULB FLUORESCENT FIXTURE
F3	4' (2) BULB VAPOR TIGHT INDUSTRIAL FLUORESCENT FIXTURE - MOUNTED AT 5'-0" ABOVE FLOOR
F4	CAN LIGHT
F5	1' X 4' - (2) BULB CEILING HUNG INDUSTRIAL FLUORESCENT FIXTURE
F6	EXIT - HQM 5X3R 120/277 EL
F7	EMERGENCY FIXTURE WITH (2) LAMPS AND BATTERY BACKUP



ELECTRIC NOTES:

ALL ELECTRICAL DEVICES IN THE PIT AREA AND OIL STORAGE ROOM SHALL COMPLY WITH CLASS 1, DIVISION 2 REQUIREMENTS OF THE NEC. EXTEND TO WIRING, CONDUIT, LIGHTS, SWITCHES, OUTLETS, ECT...

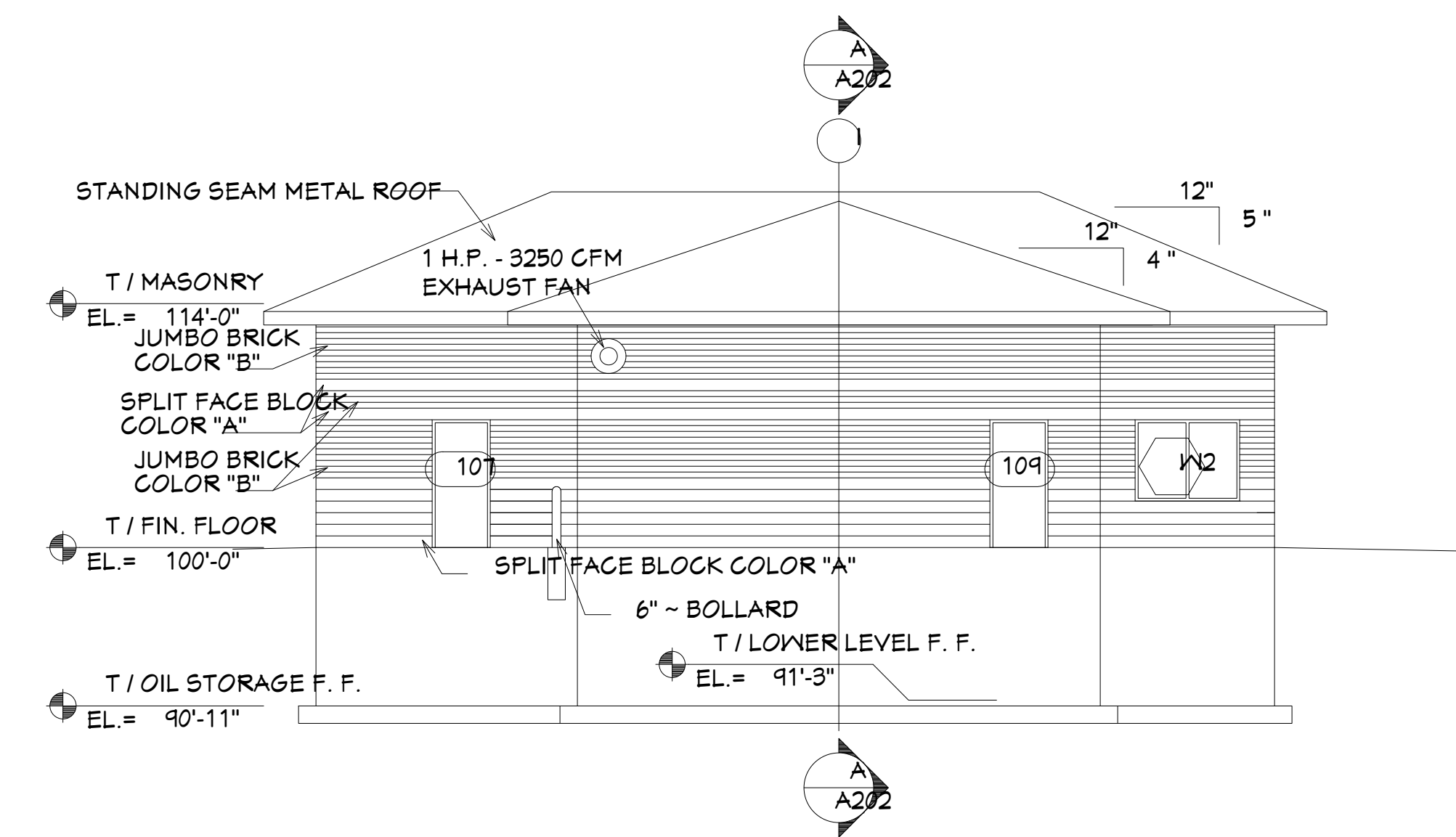
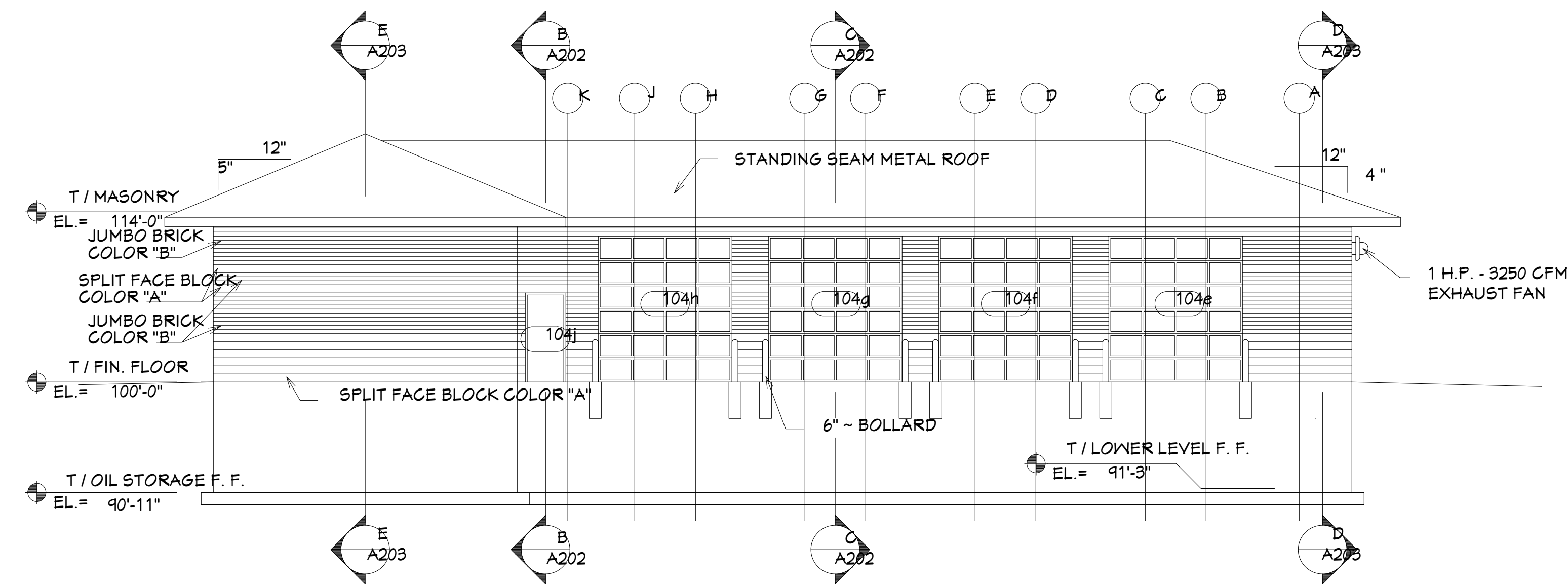
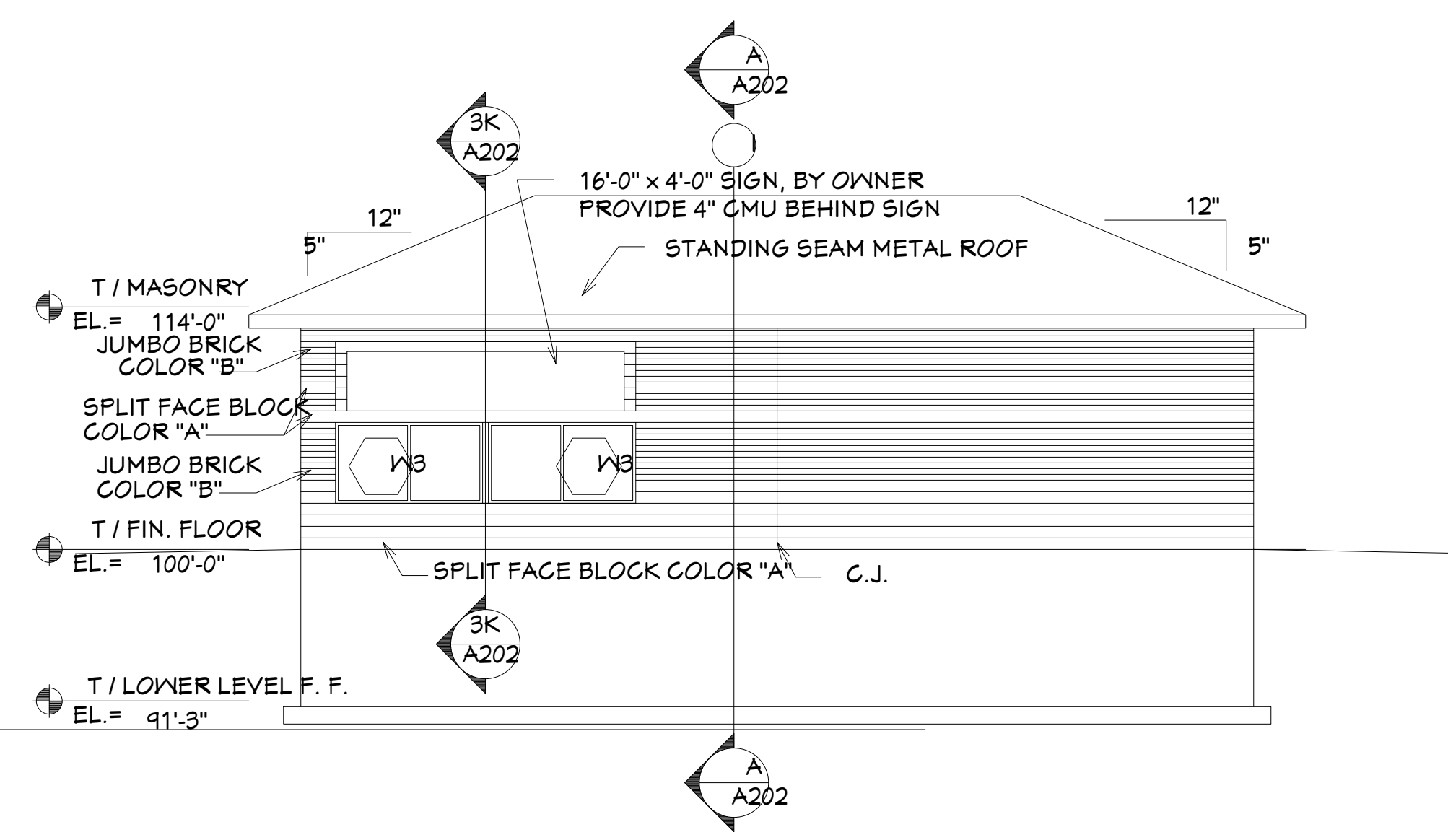
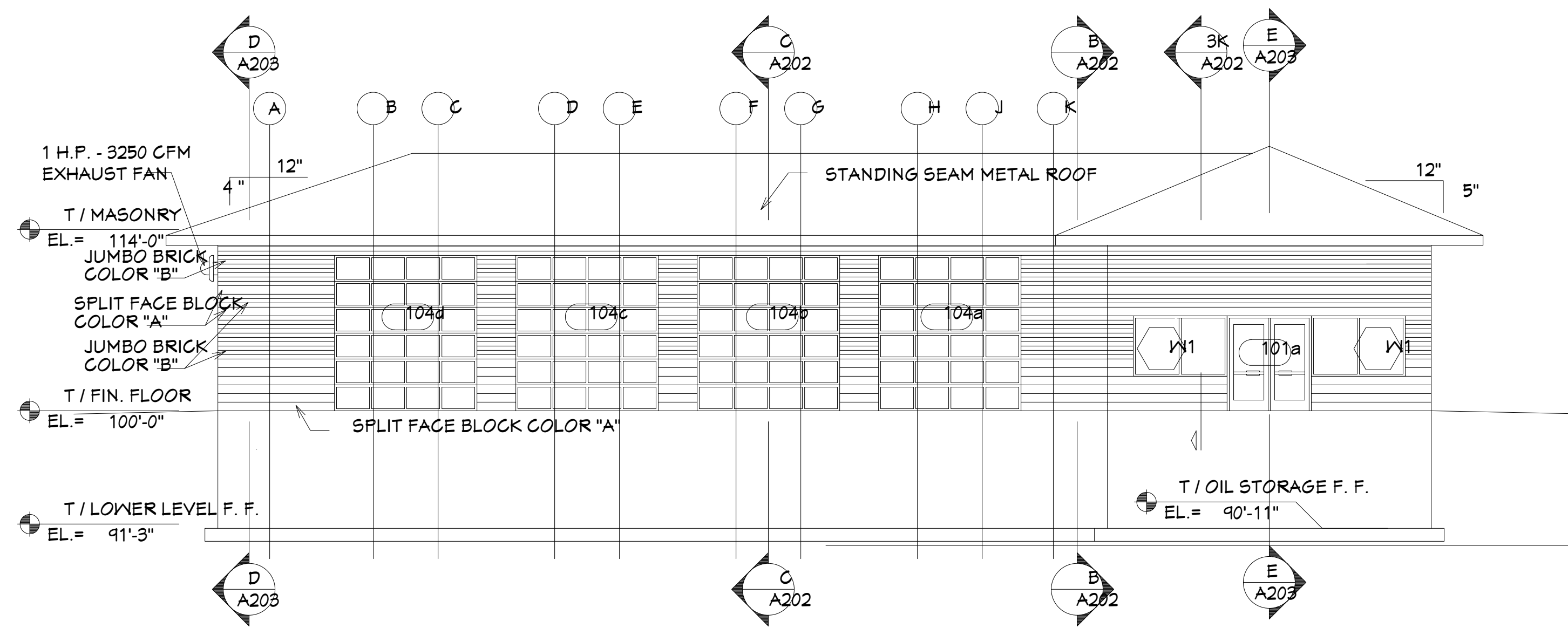
RECEPTACLES FOR HAND TOOLS AND PORTABLE LIGHTING DEVICES SHALL HAVE GFCI PROTECTION FOR PERSONNEL.

PROVIDE 200 AMP 1-PHASE SERVICE W/ DISTRIBUTION PANEL VERIFY ALL EQUIPMENT POWER REQUIREMENTS. LIGHT FIXTURES BY OWNER PROVIDE CITY OF DECATUR REQUIRED FAULT CURRENT REPORT.

THIS BUILDING SHALL COMPLY WITH THE CURRENT CITY OF BLOOMINGTON NATIONAL ELECTRICAL CODE

ELECTRIC PLANS

REVISION TABLE NUMBER DATE REVISION BY DESCRIPTION	
NEW SHOP FOR SPEEDLUBE 1209 HOLIDAY LANE BLOOMINGTON, ILL	
DATE:	2/1/2020
SCALE:	
SHEET:	A-2



1st Floor

NUMBER	DATE	REVISION	DESCRIPTION

**NEW SHOP FOR
SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL**

DRAWINGS PROVIDED BY:
JOHN R. DRAYTON - ARCHITECT
3135 TUKRIPIN ROAD
DECATUR, ILLINOIS 62521
217-422-2447

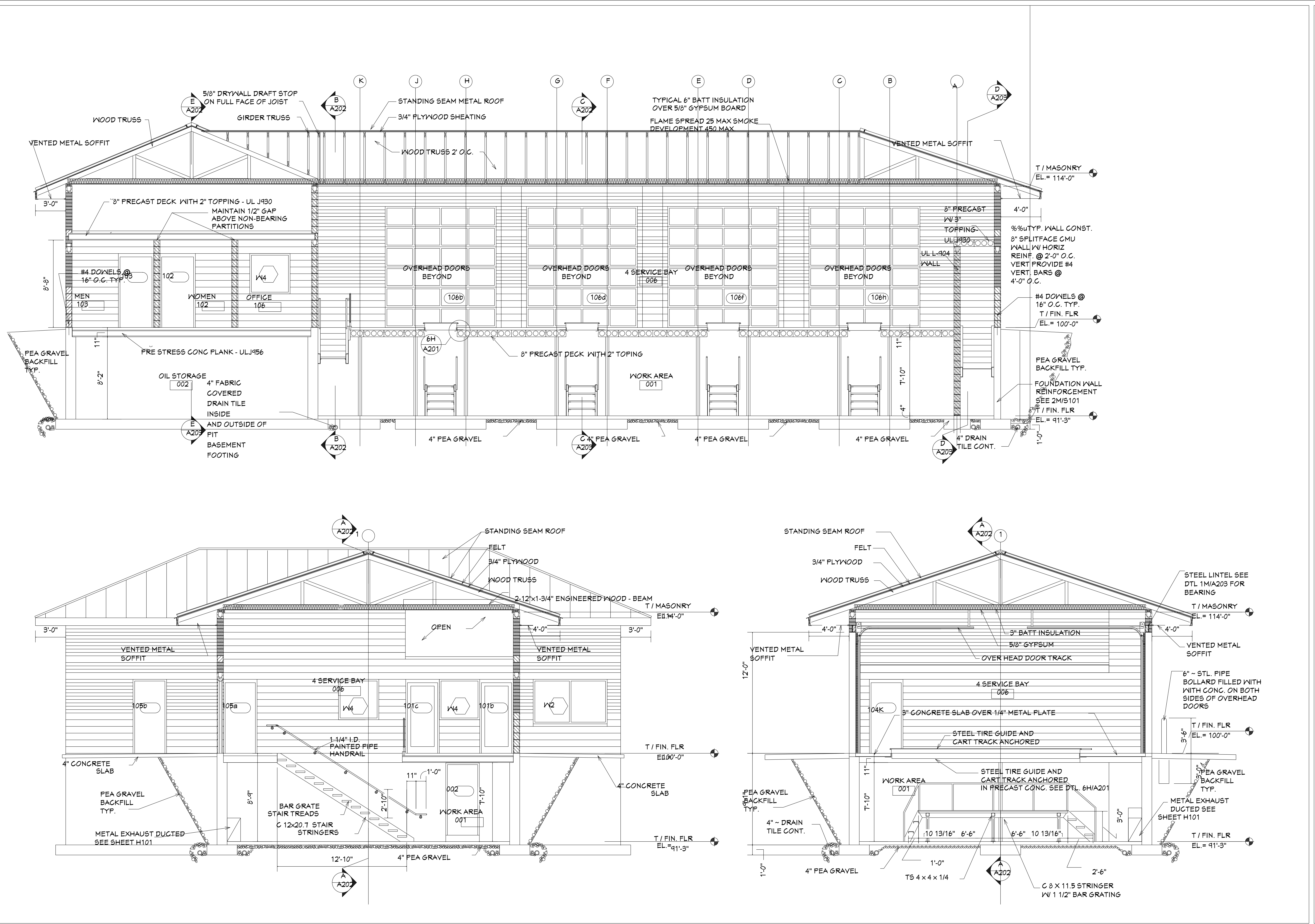
DATE:

1/31/2020

SCALE:

SHEET:

A-3



1st Floor

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

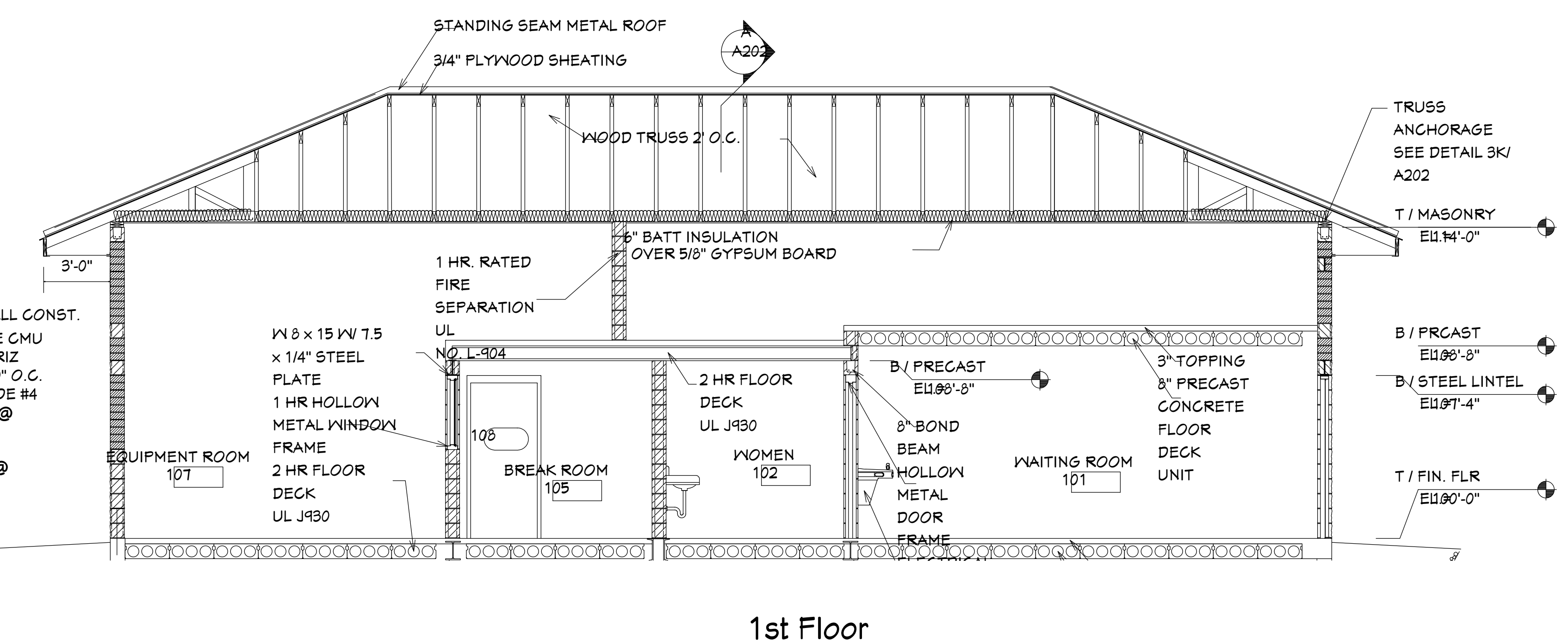
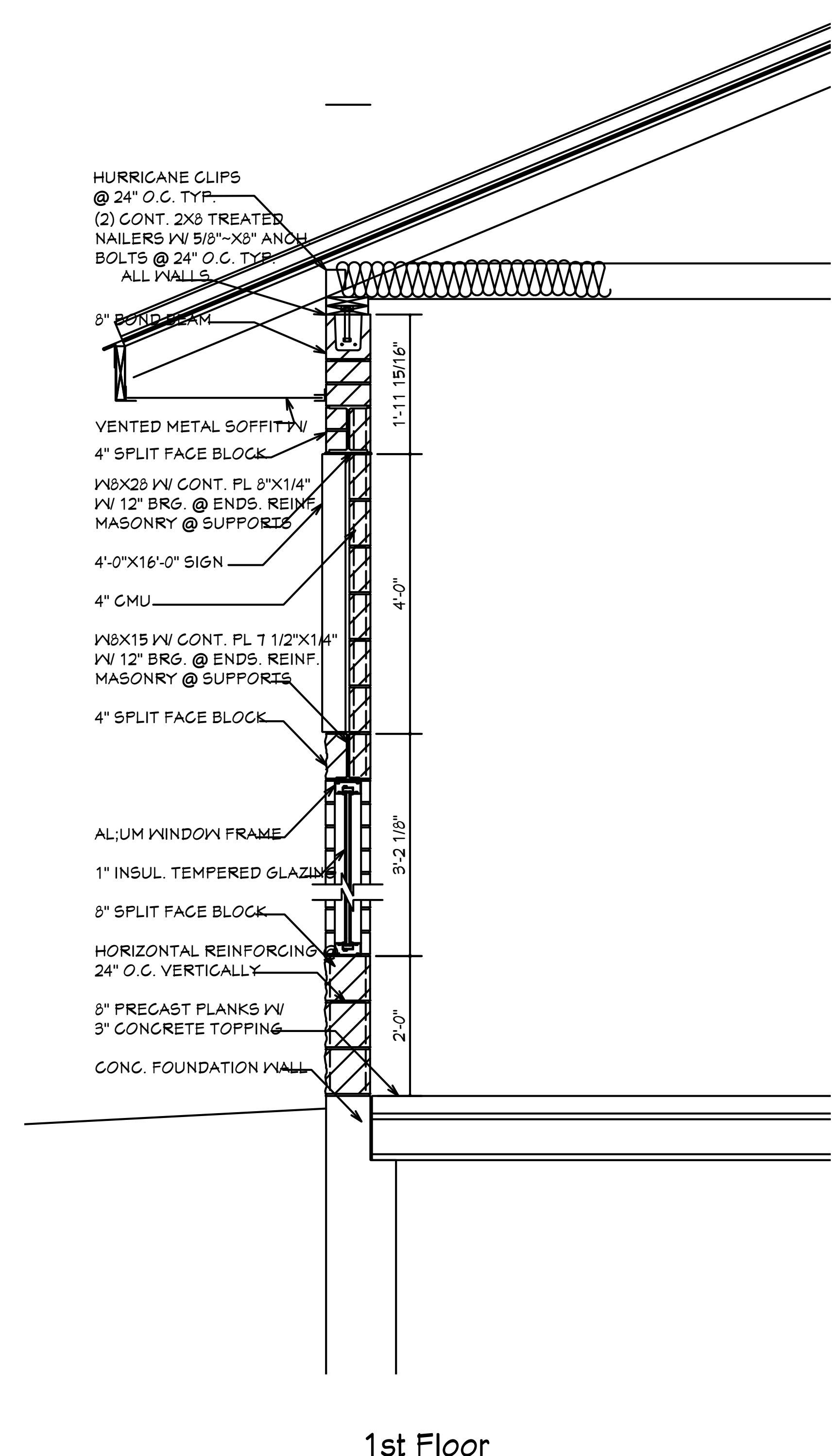
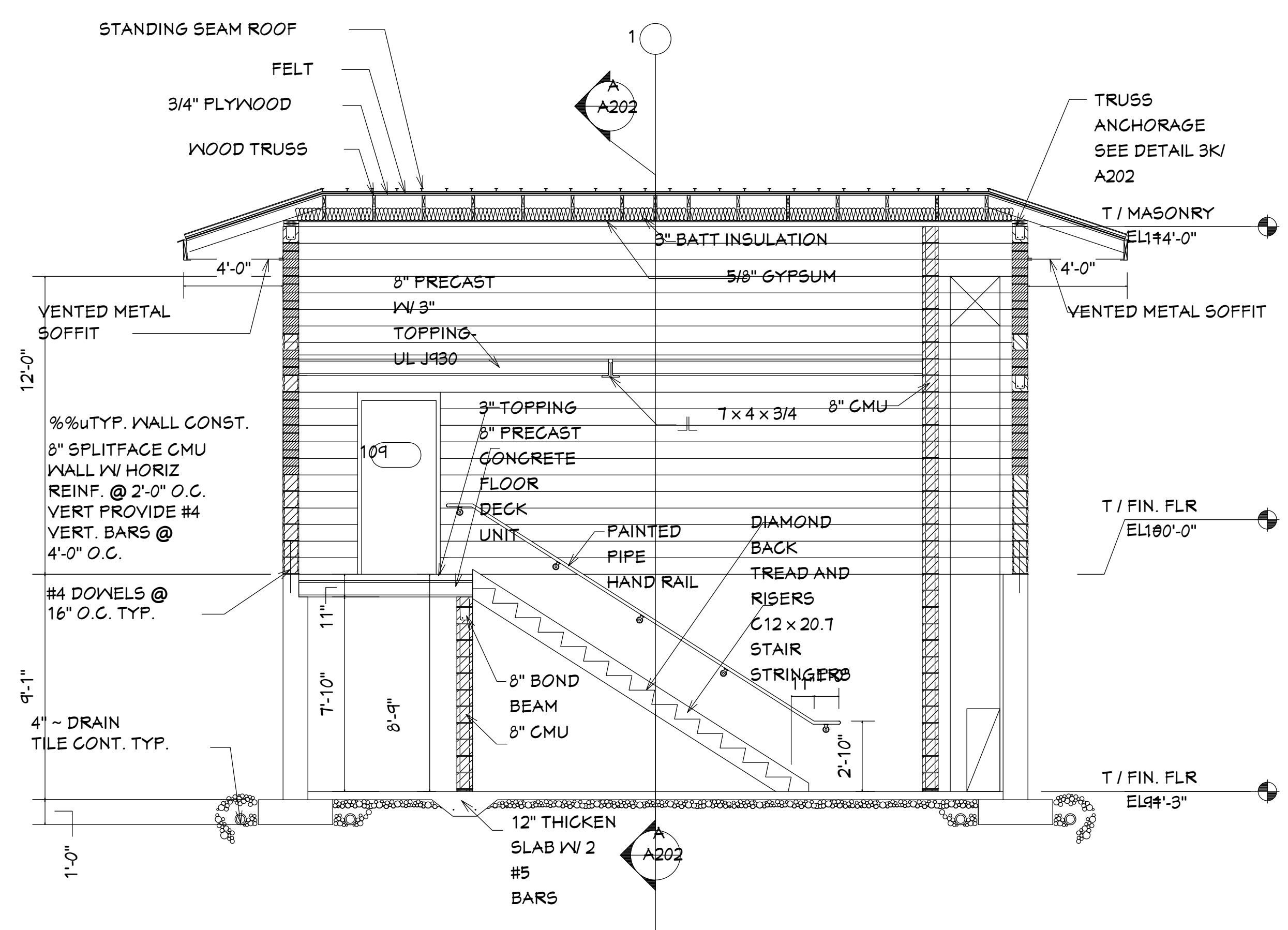
NEW SHOP FOR
SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL

DRAWINGS PROVIDED BY:
JOHN R. DRAYTON - ARCHITECT
3135 TUKRIP ROAD
DECATUR, ILLINOIS 62521
217-422-2447

DATE:
1/31/2020

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A-4



NUMBER	DATE	REVISION	DESCRIPTION

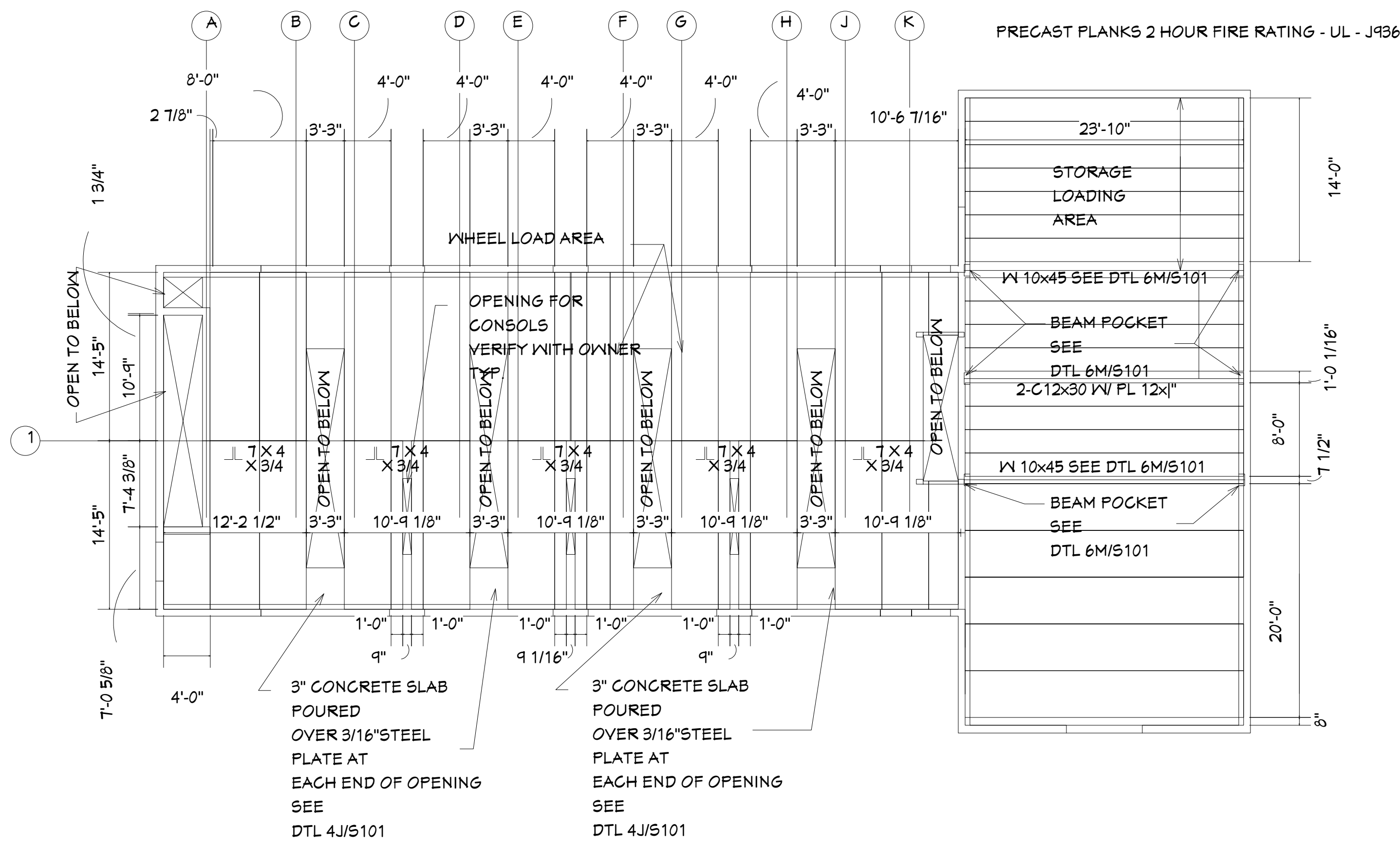
NEW SHOP FOR
SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL

DRAWINGS PROVIDED BY:
JOHN R. DRAYTON - ARCHITECT
3135 TUKKIPIN ROAD
DECATUR, ILLINOIS 62521
217-422-2447

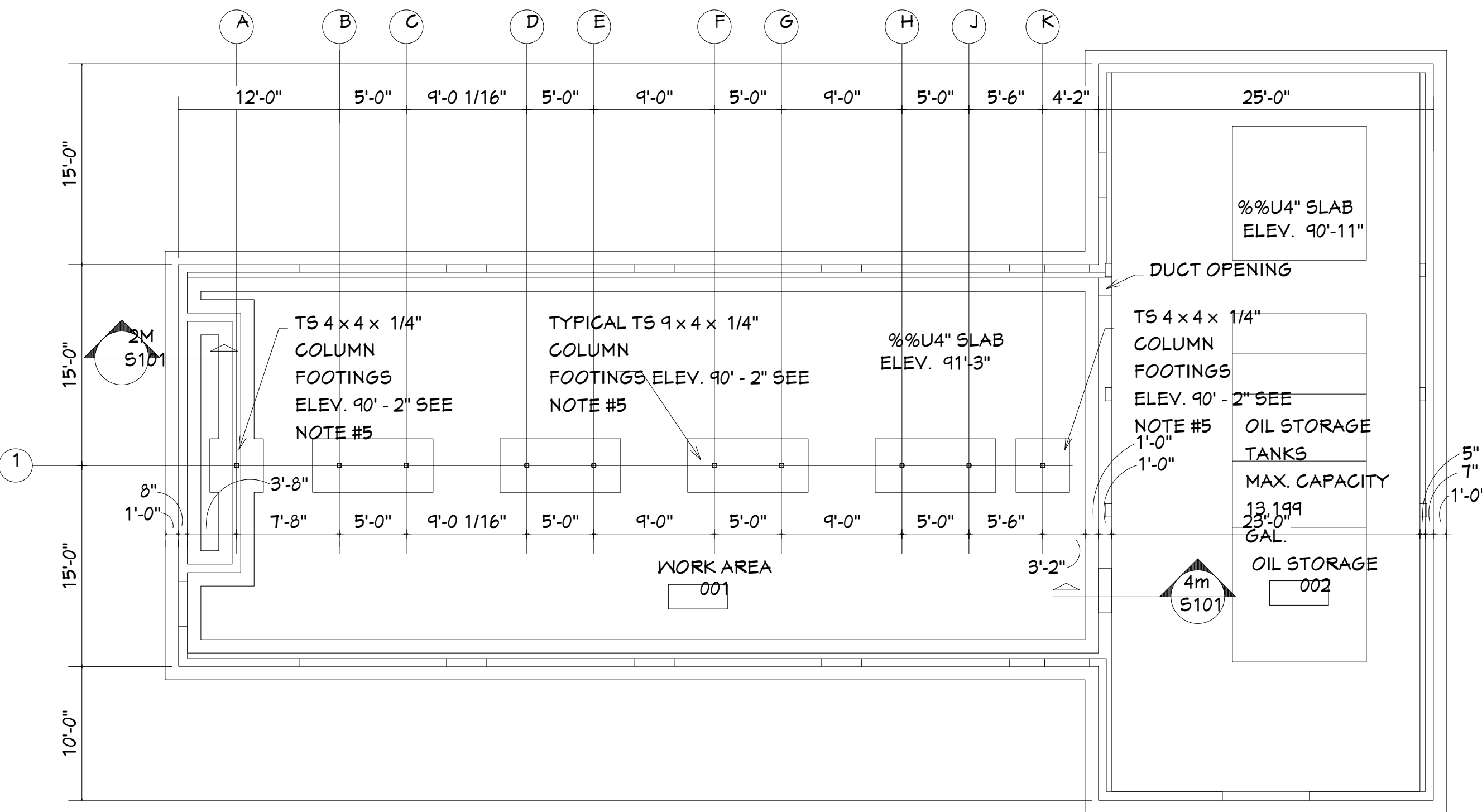
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1/31/2020

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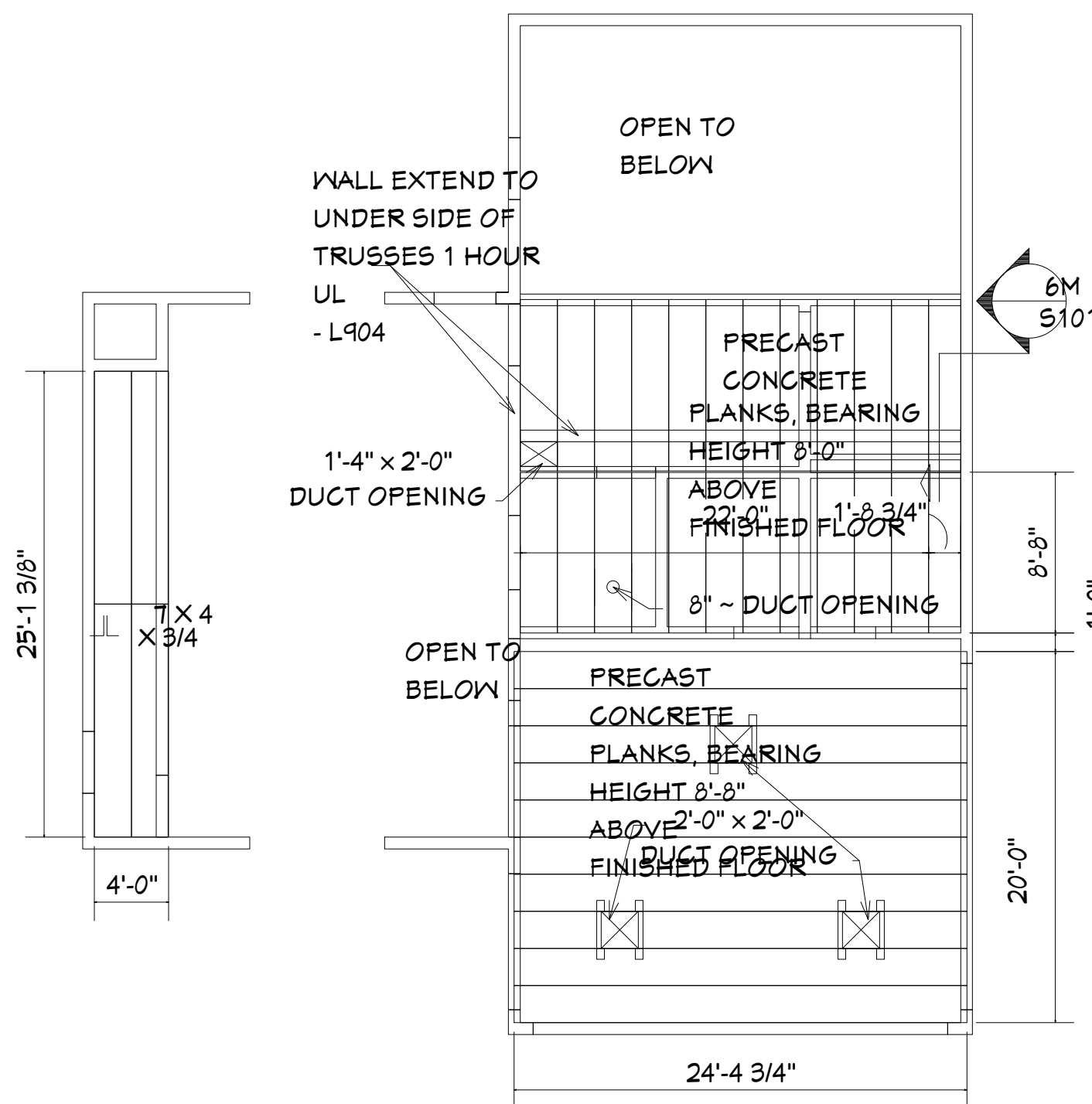
PRECAST LAYOUT PLAN



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

1st Floor

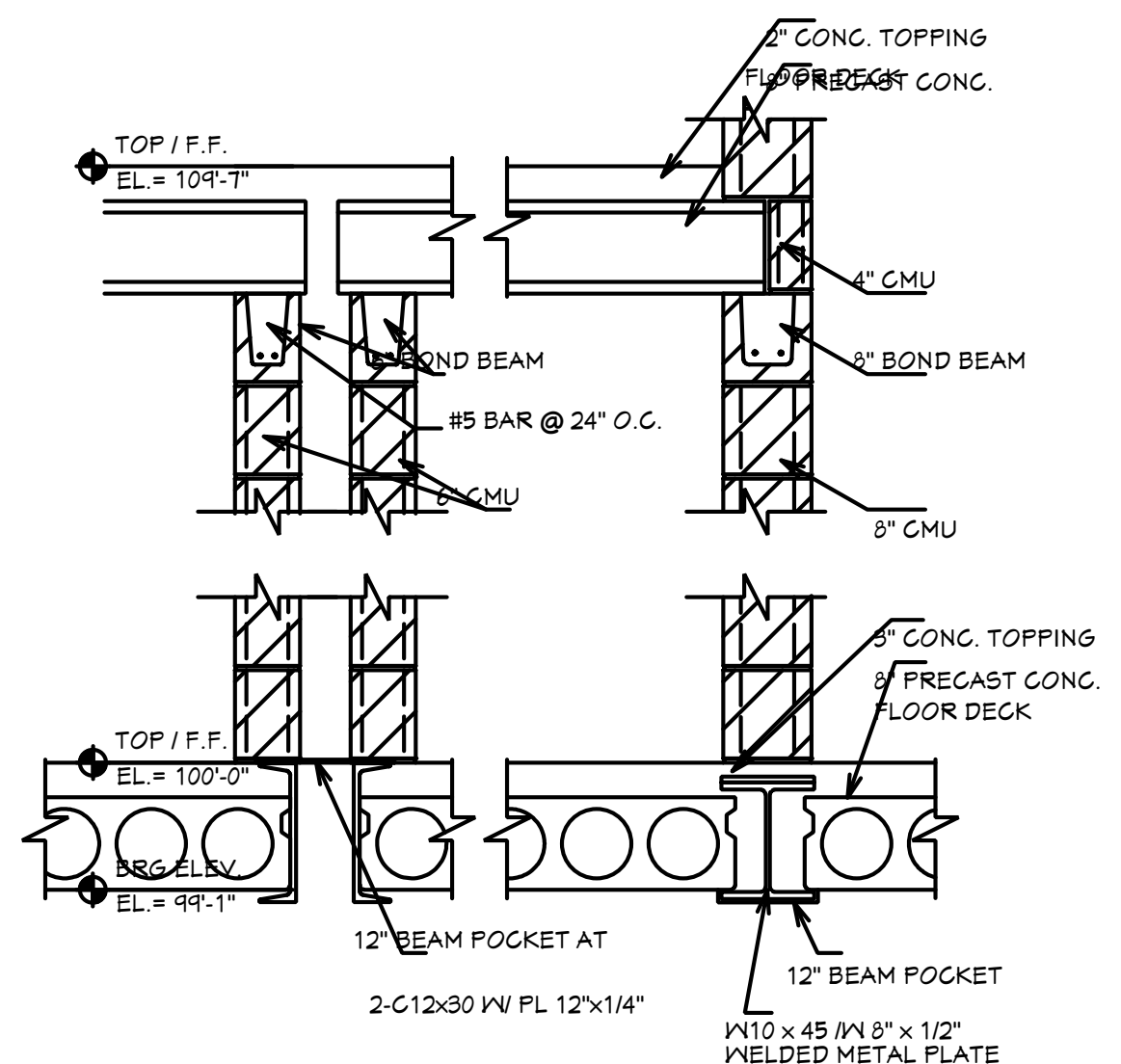
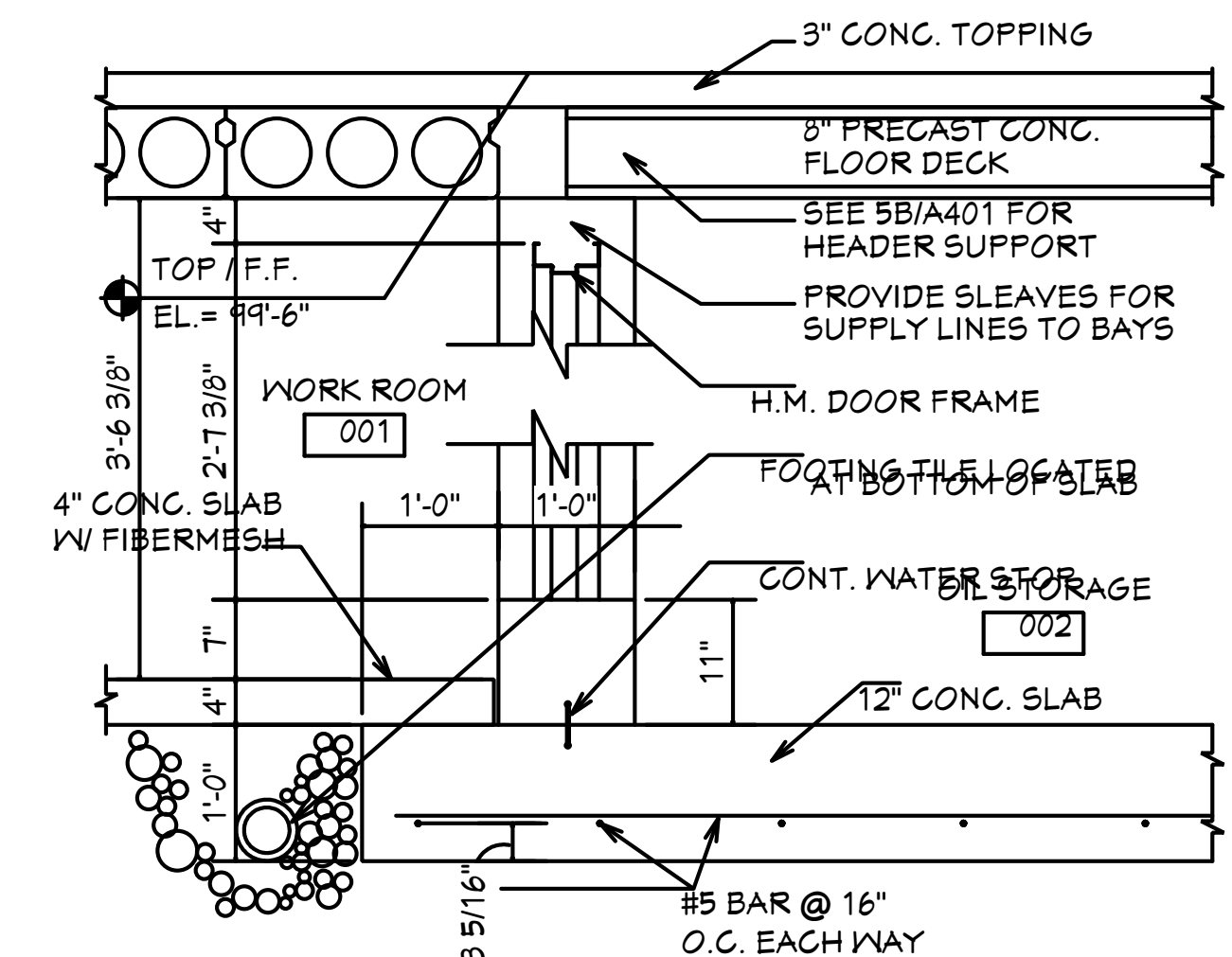
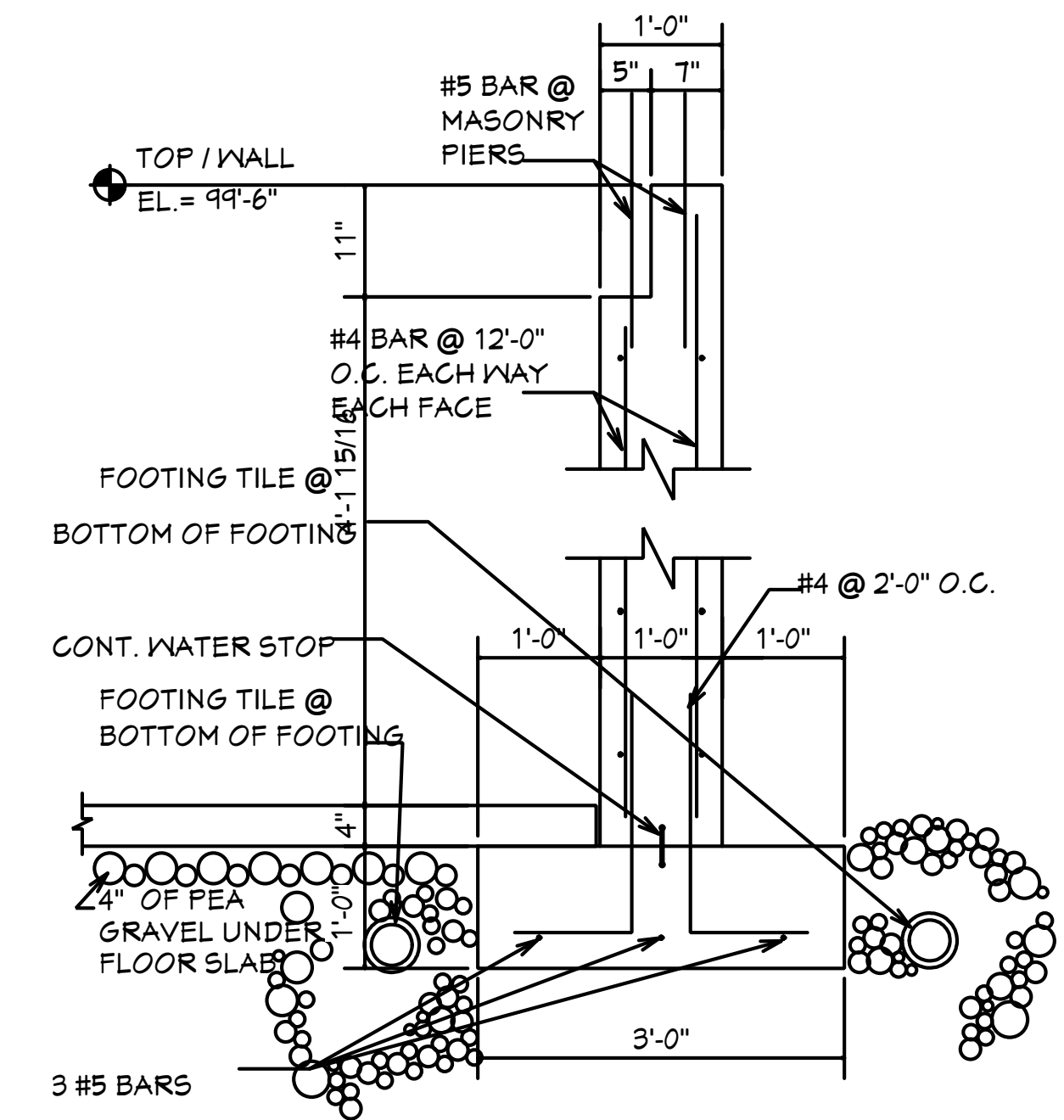


UPPER LEVEL PRECAST PLAN

SCALE: 1/8" = 1'-0"

%%STRUCTURAL NOTES:

- LOADS:
 - ROOF SNOW LOAD 25 PSF
 - ROOF DEAD LOAD 20
 - FLOOR LIVE LOAD 60
 - FLOOR LIVE LOAD (STORAGE) 125
 - FLOOR DEAD LOAD 100
 - FLOOR PARTITION LOAD 25 PSF
 - GROUND SNOW LOAD 20 PSF
- FLOOR CONCENTRATED LOAD AT SHADED AREA 3000 LBS
- EARTHQUAKE FACTORS
 - SEISMIC PERFORMANCE CAT- B
 - SEISMIC HAZARD GROUP - I
 - IMPORTANCE FACTOR I = 1.00
 - MAPPED SPECTRAL RESPONSE $S_s = 27.00\%g$
 - ACCELERATIONS $S_1 = 12.00\%g$
 - SITE CLASS = D
 - SPECTRAL RESPONSE COEF. $S_{ds} = 0.25$
 - $S_{d1} = 0.160$
 - SEISMIC DESIGN CATEGORY = C
 - DESIGN BASE SHEAR $V = 0.107W$
 - SEISMIC RESPONSE COEF. $C_s = 0.107$
 - RESPONSE MODIFICATION FACTOR (R) = 2.5
 - ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE ANALYSIS
- ESTIMATED SOIL BEARING CAPACITY 2000 PSF
- TYPICAL COL. PAD - 4'-0" x 4'-0" x 1'-0" WITH 5 #5 BARS EACH WAY
- TYPICAL WALL FTG 3'-0" x 1'-0" W/ 3 #5 BARS
- PRECAST DECK HEADERS PROVIDED BY PRECAST MFG..
- CONCRETE STRENGTH: 3000 PSI @ 28 DAYS
- REINFORCING STEEL: ASTM A615 OR ASTM A706 - GRADE 60
- ROOF TRUSS DESIGN SHALL BE SEALED BY AN ILLINOIS STRUCTURAL ENG.
- LOAD BEARING CONG. MASONRY UNITS ASTM C90
 - $P_c = 1500$ psi



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

NEW SHOP FOR SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL

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3135 TUKRIPIN ROAD
DECATUR, ILLINOIS 62521
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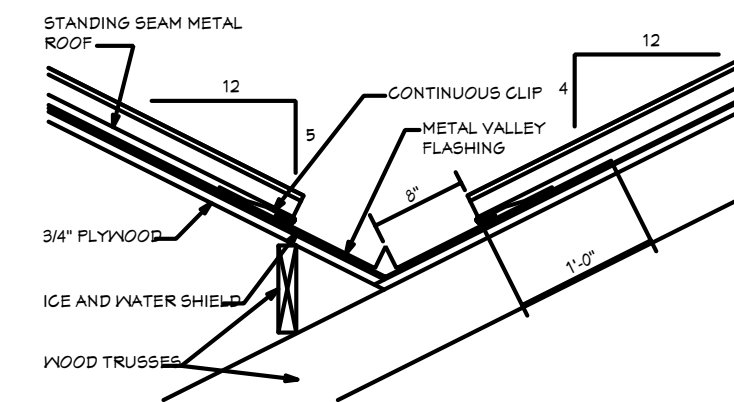
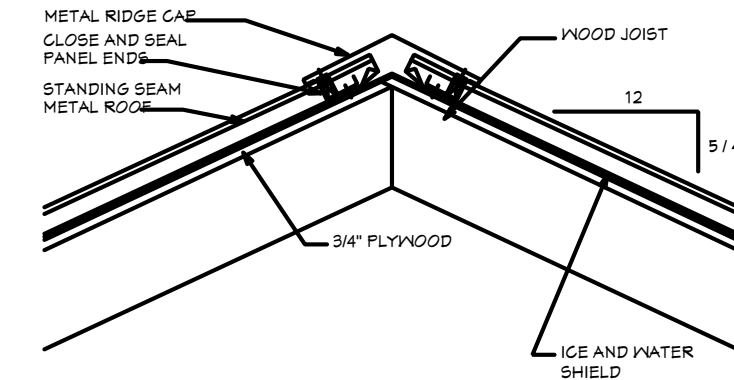
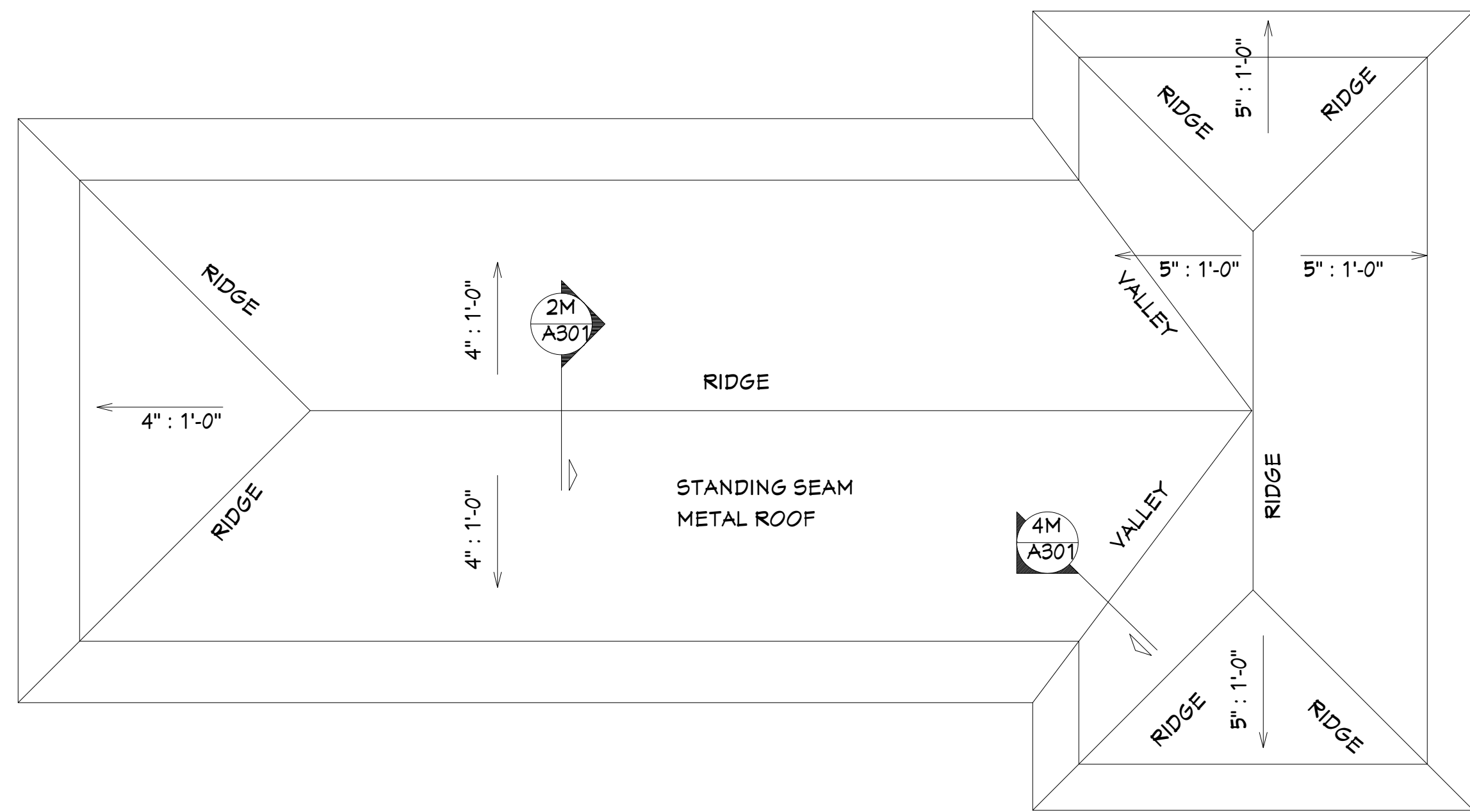
DATE:

1/31/2020

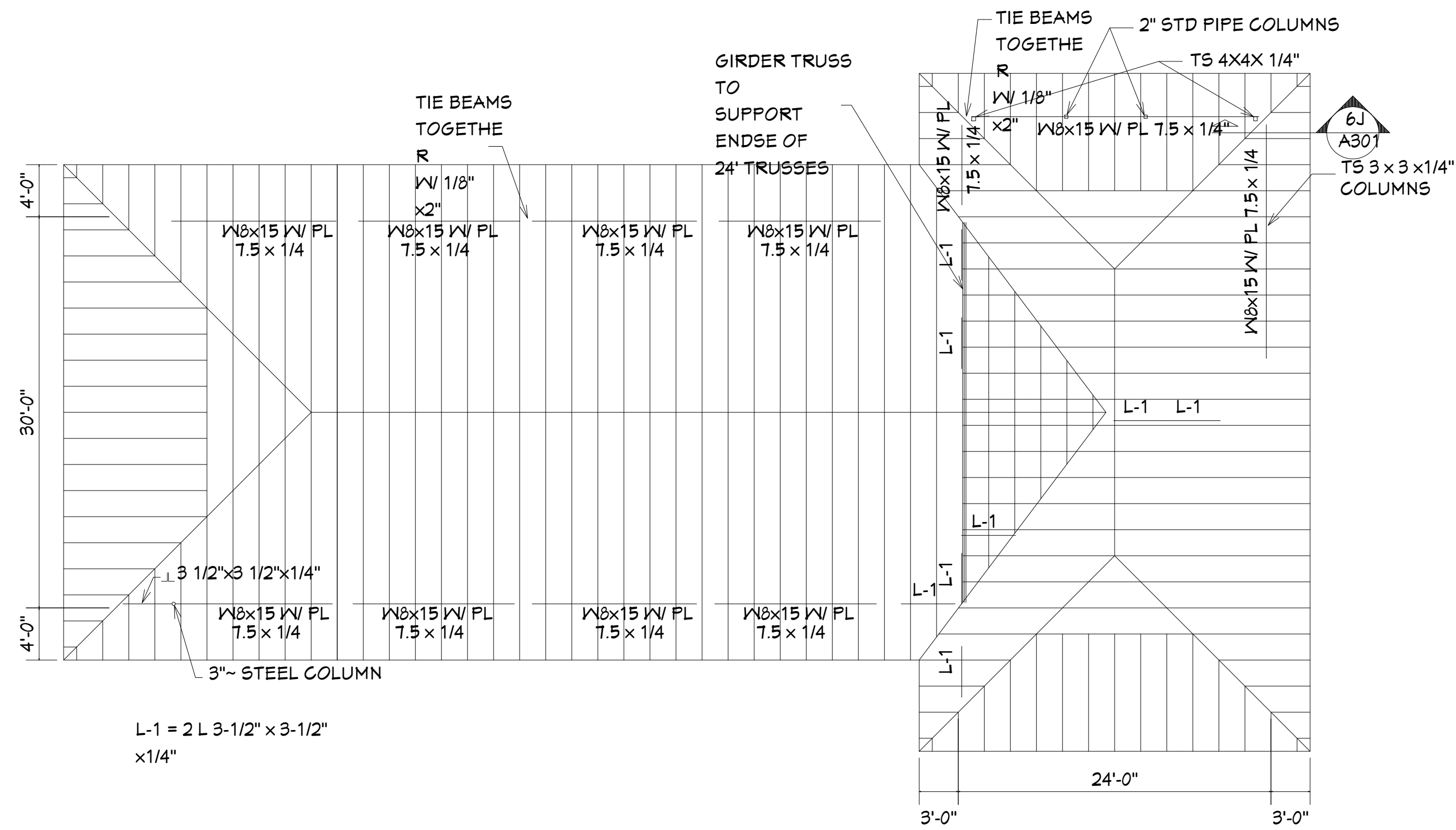
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1st Floor



1st Floor

REVISION TABLE	
NUMBER	DATE

**NEW SHOP FOR
SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL**

DRAWINGS PROVIDED BY:
JOHN R. DRAYTON - ARCHITECT
3135 TUKKIPIN ROAD
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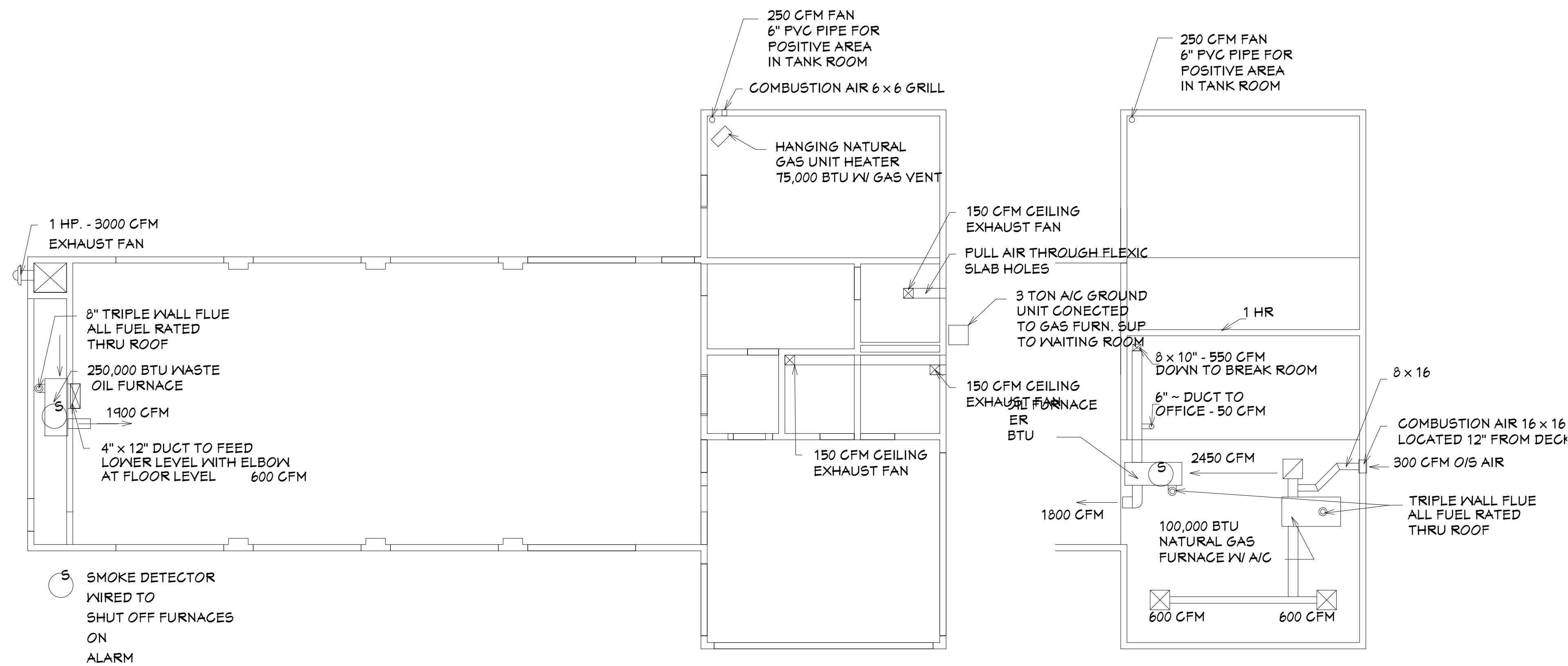
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1/31/2020

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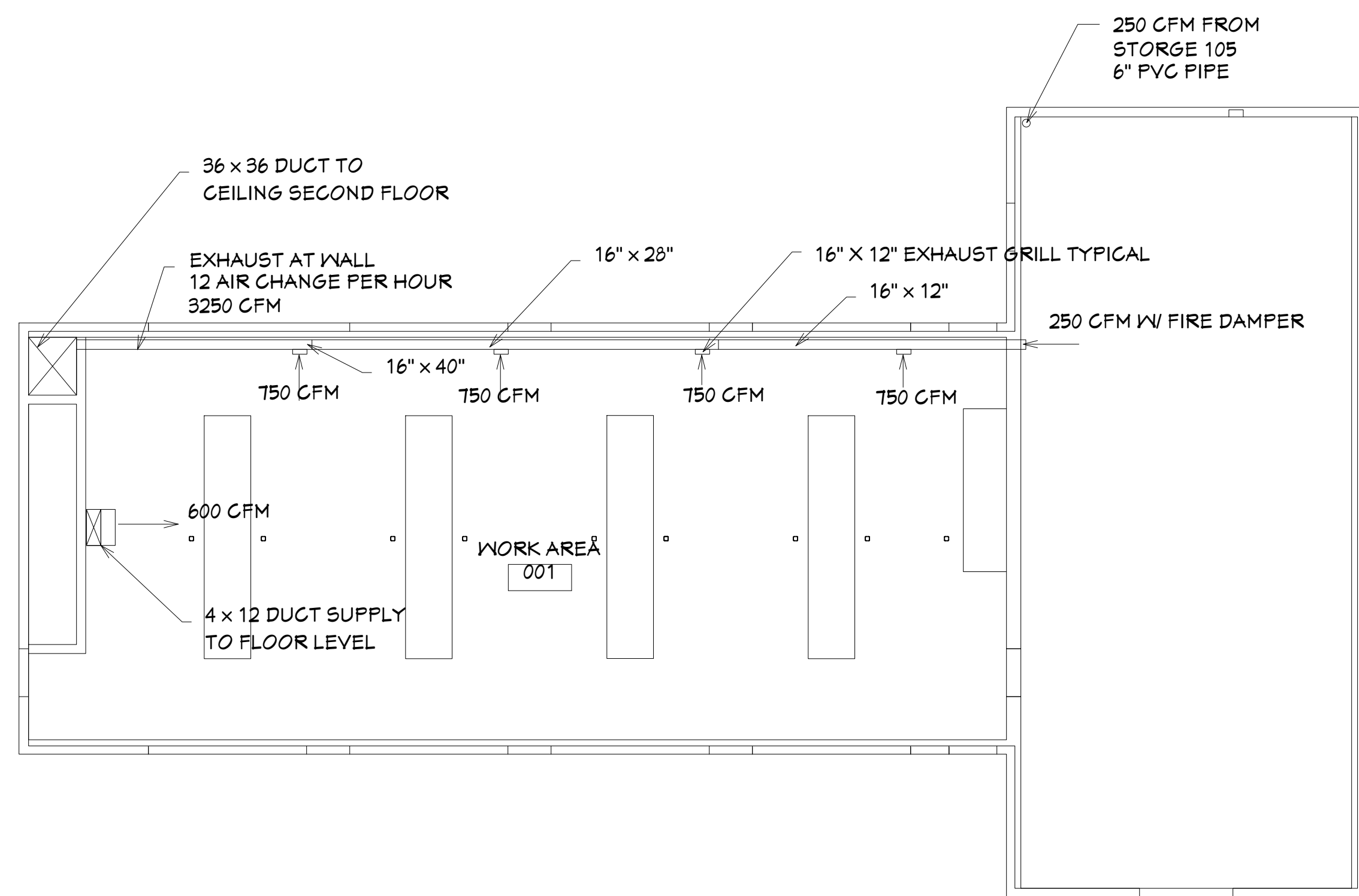
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A-7



5 SMOKE DETECTOR WIRED TO SHUT OFF FURNACES ON ALARM

MAZZINE LEVEL PLAN



PROVIDE COMPLETE HEATING AND VENTILATING SYSTEMS INCLUDING THERMOSTAT CONTROL

MECHANICAL SYSTEMS SHALL COMPLY WITH THE 2003 INTERNATIONAL MECHANICAL CODE

BALANCE EXHAUST SYSTEM FOR EQUAL CFM PULL FROM EACH GRILL.

%%WASTE OIL FURNACES BY OWNER. (EQUIPMENT ONLY)
 CLEAN BURN 2500 FURNACE
 2500 CFM AT .25 IN. STATIC PRESSURE
 COMPRESSED AIR: 2.0 CFM @ 20 PSI
 ELECTRICAL REQ: 115V 1 PH. 30 AMP CIRCUIT
 8" STACK FLUE REQUIRED TRIPLE WALL STAINLESS

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

**NEW SHOP FOR
SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL**

DRAWINGS PROVIDED BY:
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3135 TUKRIPIN ROAD
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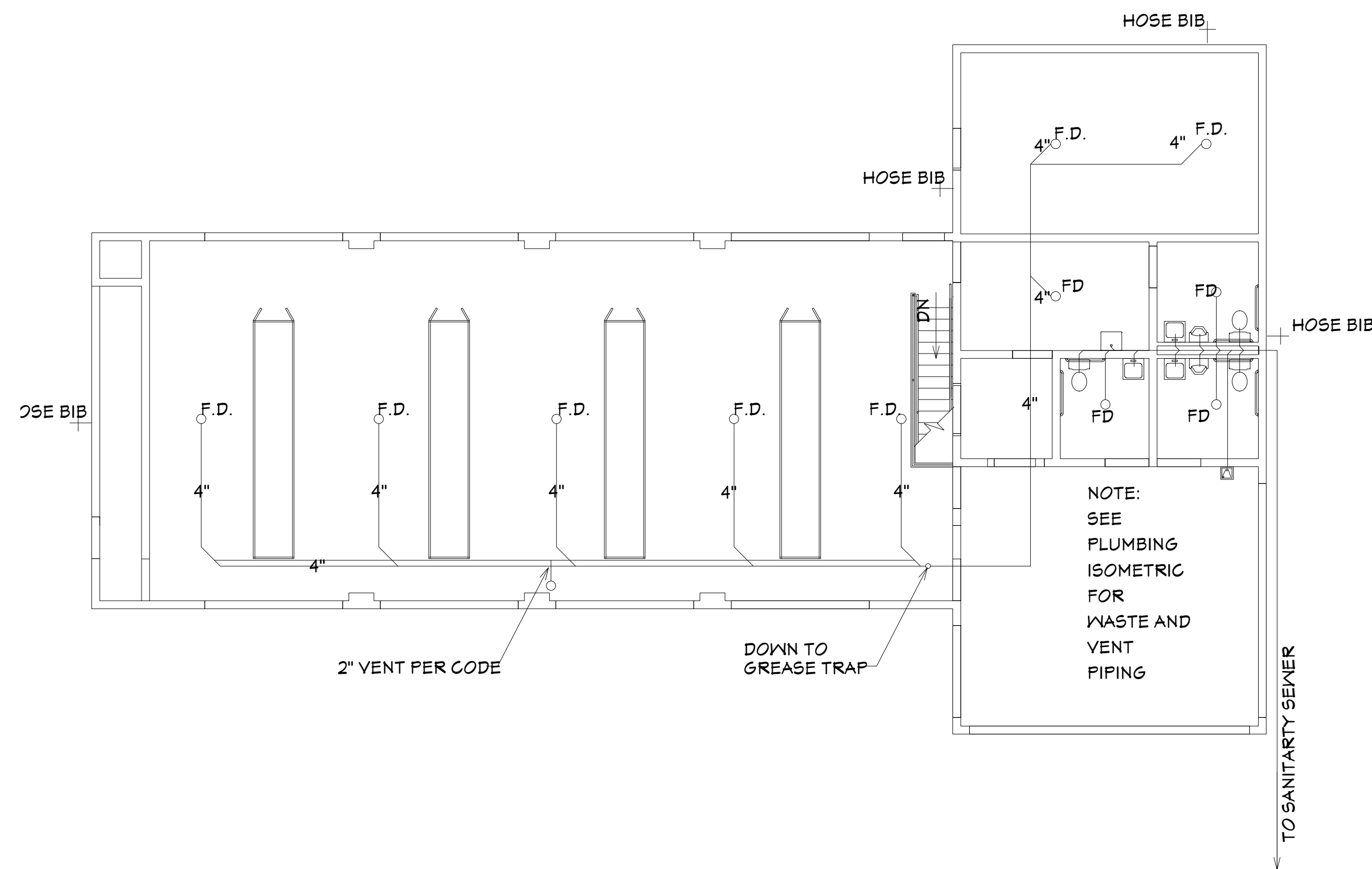
DATE:

1/31/2020

SCALE:

SHEET:

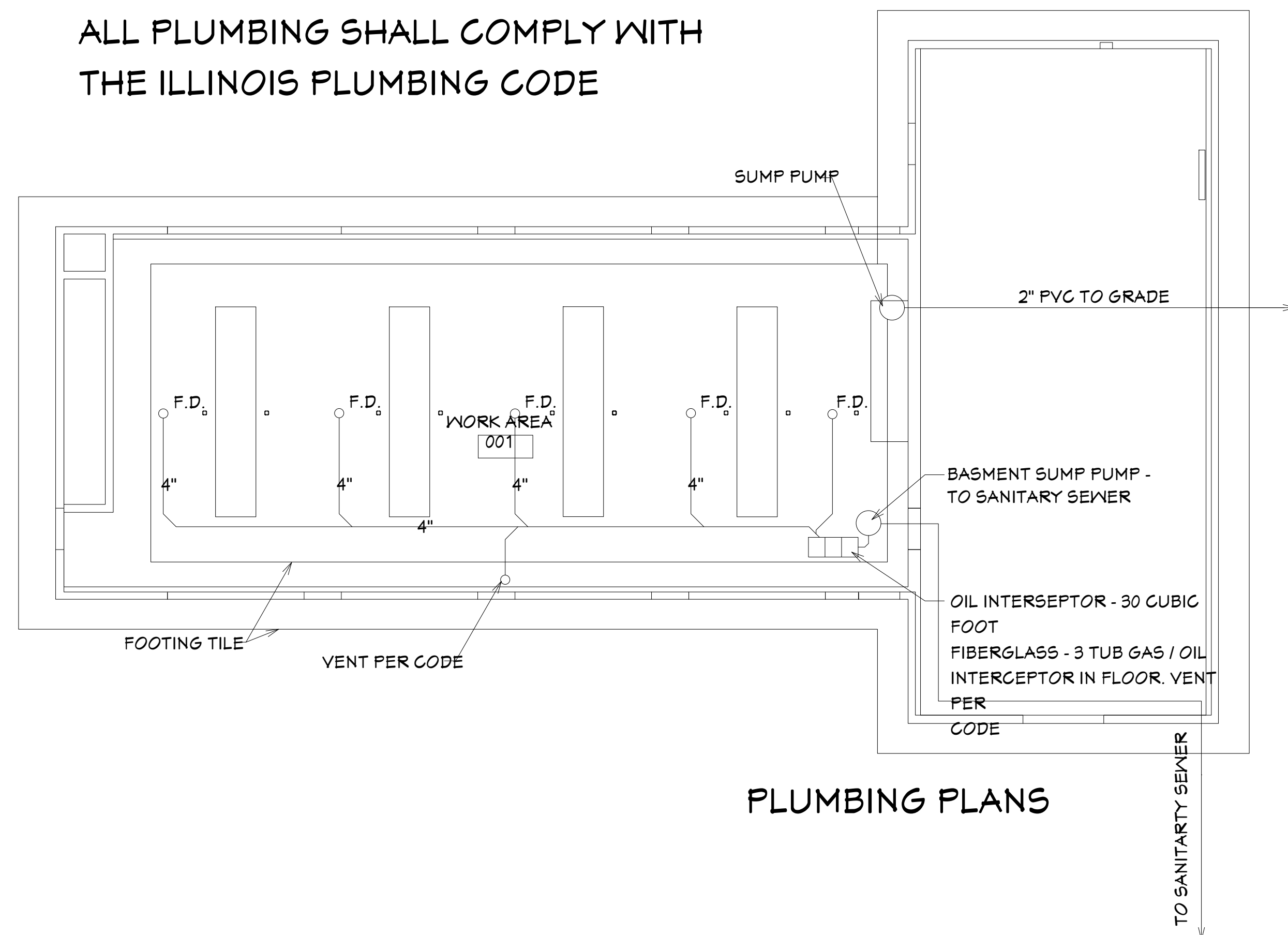
A-8



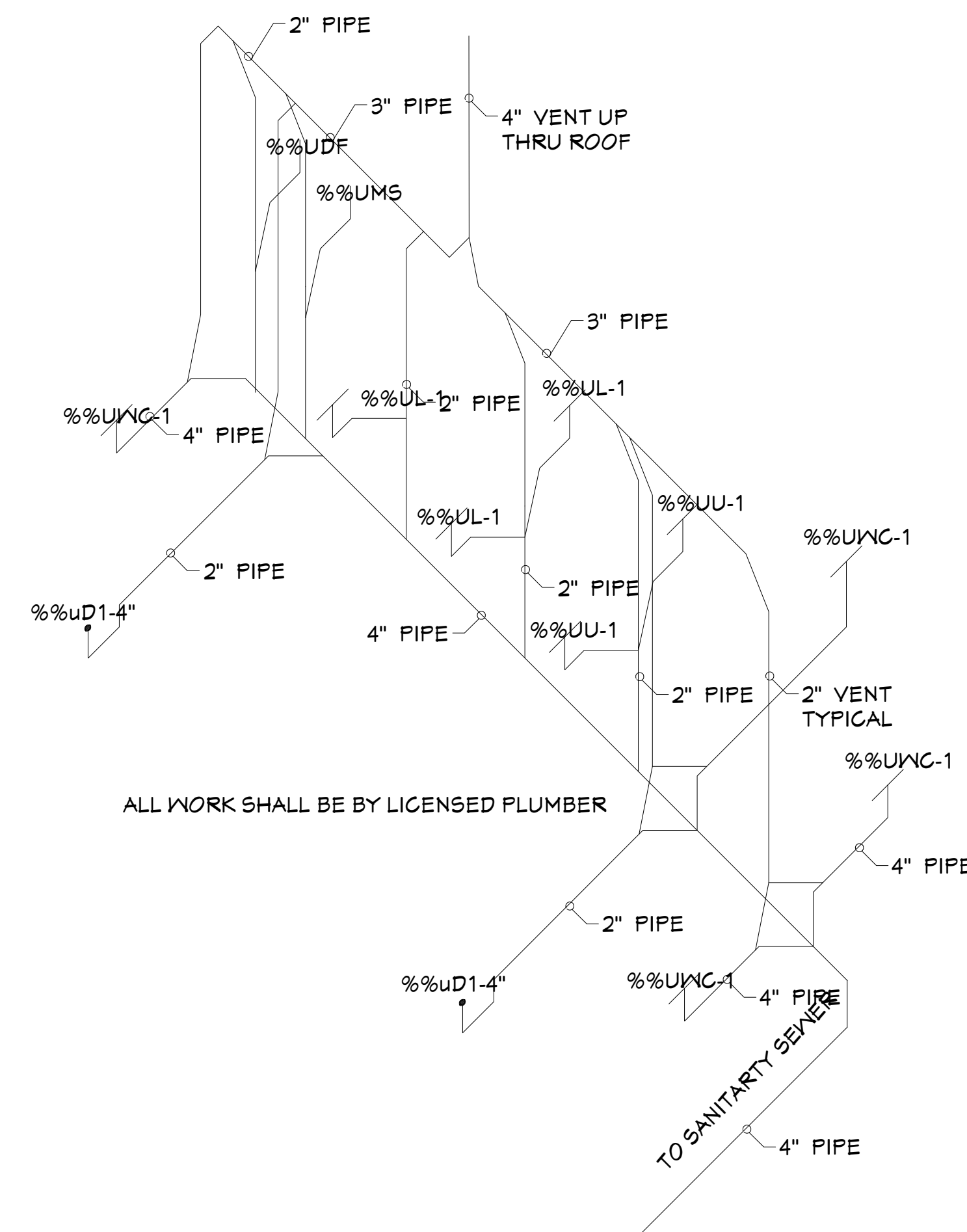
PLUMBING EQUIPMENT:

1. TOILET: (IN PUBLIC TOILET ROOMS) SHALL BE ELONGATED BOWL, WHITE VITREOUS CHINA.
2. TOILET: (IN EMPLOYEE'S TOILET ROOM) SHALL BE HANDICAPPED HEIGHT, ELONGATED BOWL, WHITE VITREOUS CHINA.
3. URINAL (IN PUBLIC TOILET ROOMS) SHALL BE WALL HUNG AT HANDICAPPED HEIGHT, WHITE VITREOUS CHINA.
4. URINAL (IN EMPLOYEE'S TOILET ROOM) SHALL BE WALL HUNG AT STANDARD HEIGHT, WHITE VITREOUS CHINA.
5. MOP BASIN: (M.B.), FAUCET, HOSE AND BRACKET, AND MOP HANGER.
6. WATER HEATER: SHALL BE ELECTRIC TYPE, 17 GALLONS STORAGE CAPACITY, 4500 WATTS @ 240v/lph.
7. ELECTRIC WATER COOLER: E.W.C.)
8. HOSE BIBB: EXTERIOR (H.B.) SHALL BE FROST PROOF, WITH LOOSE KEY.
9. FLOOR DRAIN: (F.D.)

ALL PLUMBING SHALL COMPLY WITH THE ILLINOIS PLUMBING CODE



PLUMBING PLANS



REVISION TABLE	
NUMBER	DATE

**NEW SHOP FOR
SPEEDLUBE
1209 HOLIDAY LANE
BLOOMINGTON, ILL**

DRAWINGS PROVIDED BY:
JOHN R. DRAYTON - ARCHITECT
3135 TUKRIPIN ROAD
DECATUR, ILLINOIS 62521
217-422-2447

DATE:

1/31/2020

SCALE:

SHEET:

A-9



CITY OF BLOOMINGTON
APPLICATION FOR SITE PLAN
REVIEW

To the City of Bloomington:

I (we), the undersigned, do hereby respectfully petition the City of Bloomington for a site plan review as set forth herein, pursuant to Division 17-9 Site Plan Review Procedures set forth in Chapter 44 of the Bloomington City Code, and in support thereof state the following facts and make the following certifications and agreements:

1. **The name of the proposed development is:** Speed Lube—1209 Holiday Drive

2. **The property in question is legally described below and attached as Exhibit A:**
Lot 1 in the B & E Subdivision in the City of Bloomington, according to the Plat thereof
recorded July 15, 1987 as Document No. 87-14112, in McLean County, Illinois

3. **The property has the following common address:**
1209 Holiday Drive, Bloomington, IL 61701

4. **The property has the following zoning classification:** B-1, General Commercial District

5. **The approximate size of the property is as follows:**

	Trapezoidal Lot	
<u>150' (N/S)</u> (feet wide)	<u>190' (E/W) - North Line</u> (feet long)	Area: 19,974 SF.
	<u>75' (E/W) - South Line</u>	(0.459 AC.)

6. **The names and addresses of the property owner(s) making this request are as follows:**

<u>Speed Lube 10-Minute Oil Change Shops, Inc., c/o Mark Allen</u>	
<small>(First & Last Name)</small>	<small>(First & Last Name)</small>
<u>924 E. Eldorado St.</u>	
<small>(Street Address)</small>	<small>(Street Address)</small>
<u>Decatur, IL 62521</u>	
<small>(City & Zip Code)</small>	<small>(City & Zip Code)</small>

**Please attach a separate sheet if there are additional property owners to be listed. Additional proof of ownership, pursuant to Division 17-3 of Chapter 44 of the City Code may be required.*

7. **The site plan provided includes the following information:**
- a) Location by Section, Town and Range or other legal description;
 - b) Names and addresses of the persons having proprietary interest over the property;
 - c) Graphic (engineering) scale;
 - d) North-points;
 - e) Date of preparation;
 - f) The boundary lines of the property in question;
 - g) Size, location, height, number of stories, building design, and arrangement of proposed buildings and structures and existing buildings and structures;
 - h) Schematic drawings illustrating the locations and dimensions of proposed buildings and structures, the design and character of the building, elevations, exterior building materials and types of construction of all proposed buildings and structures;
 - i) A scaled site plan showing the existing buildings and land uses, contiguous land uses, natural topographic features, zoning districts, public thoroughfares, transportation, and utilities.
 - j) A scaled site plan of the proposed development showing lot area, the required yards and setbacks, contour lines, common space, and the location, floor area ratio, lot area coverage and heights of buildings and structures, size, and location of proposed parking areas with arrangement of bays and aisles and curb cuts, and with indication of the total number of spaces;
 - k) Schematic drawings illustrating the design and character of the building elevations, types of construction, and floor plans of all proposed buildings and structures. The drawings shall also include a schedule showing the number, type, and floor area of all uses or combinations of uses, and the floor area of the entire development.
 - l) Size, location, and composition of all proposed fencing, refuse enclosures, and landscaped screening material;
 - m) Landscaping plan indicating size, location, and general characteristics of plant materials as specified in 13 of this Zoning Ordinance if the project would result in new landscaping or landscape changes.
 - n) A site drainage plan for the proposed project if required.
 - o) A photometric/lighting plan for the proposed project if the project would result in new exterior lighting or changes to exterior lighting.
8. **The Applicant(s) requests the following variations to the bulk, sign, and off-street parking and loading regulations of Chapter 44 of the City Code (if applicable):**
- a) Driveway Width: increase allowed width at property line from 30' to 40' (§38-602, B, 1)*
 - b) Building Height: increase allowed height from 20' to 23' (§44-1034, E)*
 - c) Front Yard: decrease required front yard (West) from 40' to 21' (§44-1034, F)*
 - d) Side Yard: decrease required side yard (North) from 15' to 5' (§44-1034, F)*
- * see attached page for additional description of variance requests.

9. **The Applicant(s) request consideration of the following uses, which would otherwise be allowed in the district by a special use permit (if applicable):**

Oil change facility (vehicle repair and service, 544-1034)

10. **This application complies with the standards for site plan approval set forth in Division 17 of Chapter 44 of the City Code.**

11. **To the fullest extent permitted by law, Applicant(s) agree to and hereby shall indemnify and hold harmless the City of Bloomington, its officers, officials, agents and employees from and against liability and all claims arising out of the site plan review.**

12. **Applicant(s) agree to submit payment of any fees or costs associated with this application for the site plan review in accordance with Chapter 44 of the City Code.**

13. **All other facts, representations and agreements pertaining to this petition are as follows:**

An access easement is being created over the west 30 feet of Lot 2 for benefit (ingress and egress) of Lot 1. A copy of the access easement will be provided to the City after it has been recorded.

WHEREFORE, the Applicants(s) certify the above stated provisions are true and correct, agree to be bound by the indemnification provisions contained herein, and request the City of Bloomington approve the site plan provided in accordance with this Applicant.

MARK R. ALLEN

(Print Name)

(Print Name)

(Signature)

(Signature)

(Date)

(Date)

* Please attach a separate sheet if additional property owners must sign the petition.

EXHIBIT A
LEGAL DESCRIPTION

Lot 1 in the B & E Subdivision in the City of Bloomington, according to the Plat thereof recorded July 15, 1987 as Document No. 87-14112, in McLean County, Illinois

Application for Site Plan Review – Speed Lube, 1209 Holiday Drive, Bloomington
additional information: #8 Requested Variances

The Applicant is requesting the following variances due to physical hardships resulting from the irregular geometry of the site, the property being located along a curve, and the property having double frontage. The property being developed and the land adjacent to the subject property are zoned B-1, General Commercial District, and the requested variances pose no negative impact to residential properties:

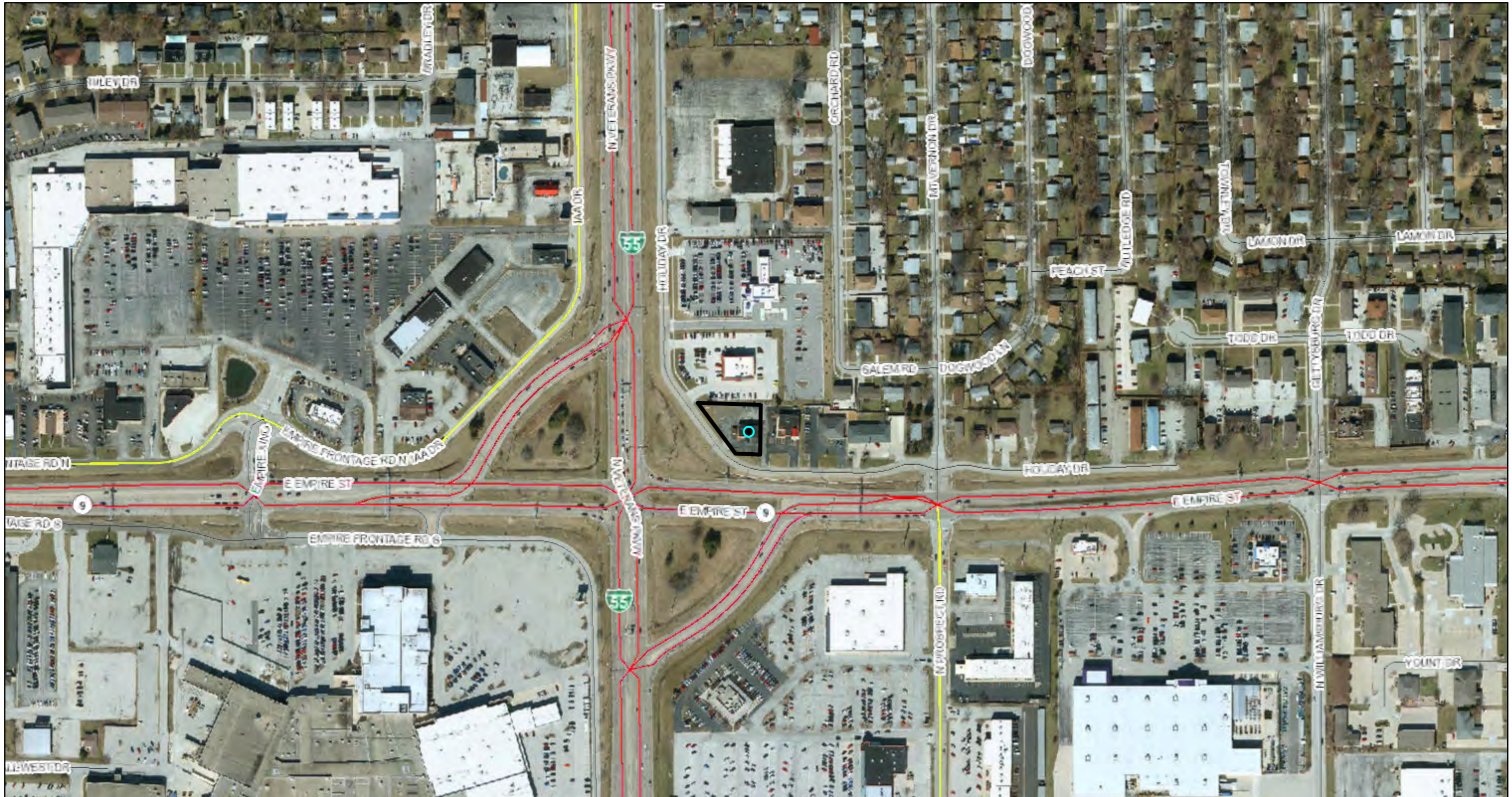
8a) Driveway Width (§38-602, B, 1): Code allows for two driveways on one property to be up to 30-feet wide each. The Applicant is requesting a variance to construct one of two driveway openings with a width of 40 feet at the property line to accommodate the oil delivery trucks needed to service the facility. The width of the second driveway is being reduced to 20 feet at the property line to compensate for the additional width being requested for first driveway. As a matter of reference, the Manual of Practice, Standard 4.06 F allows for the driveway to be up to 40 feet wide.

8b) Building Height (§44-1034, E): The Applicant is requesting a variance to allow the building height to be 23 feet instead of 20 feet to accommodate their typical building design. The building will be one story.

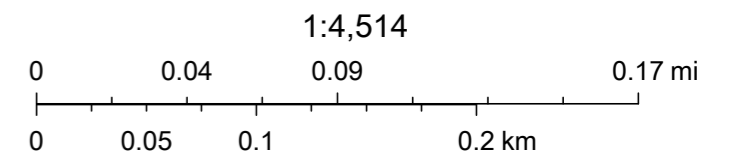
8c) Bulk Regulations (§44-1034, F) - **Front Yard**: The Applicant is requesting a variance to reduce the front yard along the West property line from 40 feet to 21 feet due to the irregular geometry and double frontage of the lot in order to accommodate parking and queuing of vehicles to the East of the building. The property is a corner lot, and proposed building is being setback 51 feet from South property line (the other front yard).

8d) Bulk Regulations (§44-1034, F) - **Side Yard**: The Applicant is requesting a variance to reduce the side yard along the North property line from 15 feet to 5 feet due to the irregular geometry and double frontage of the lot in order to accommodate parking and vehicular access (exit) for the facility.

Aerial Map 1209 Holiday Drive

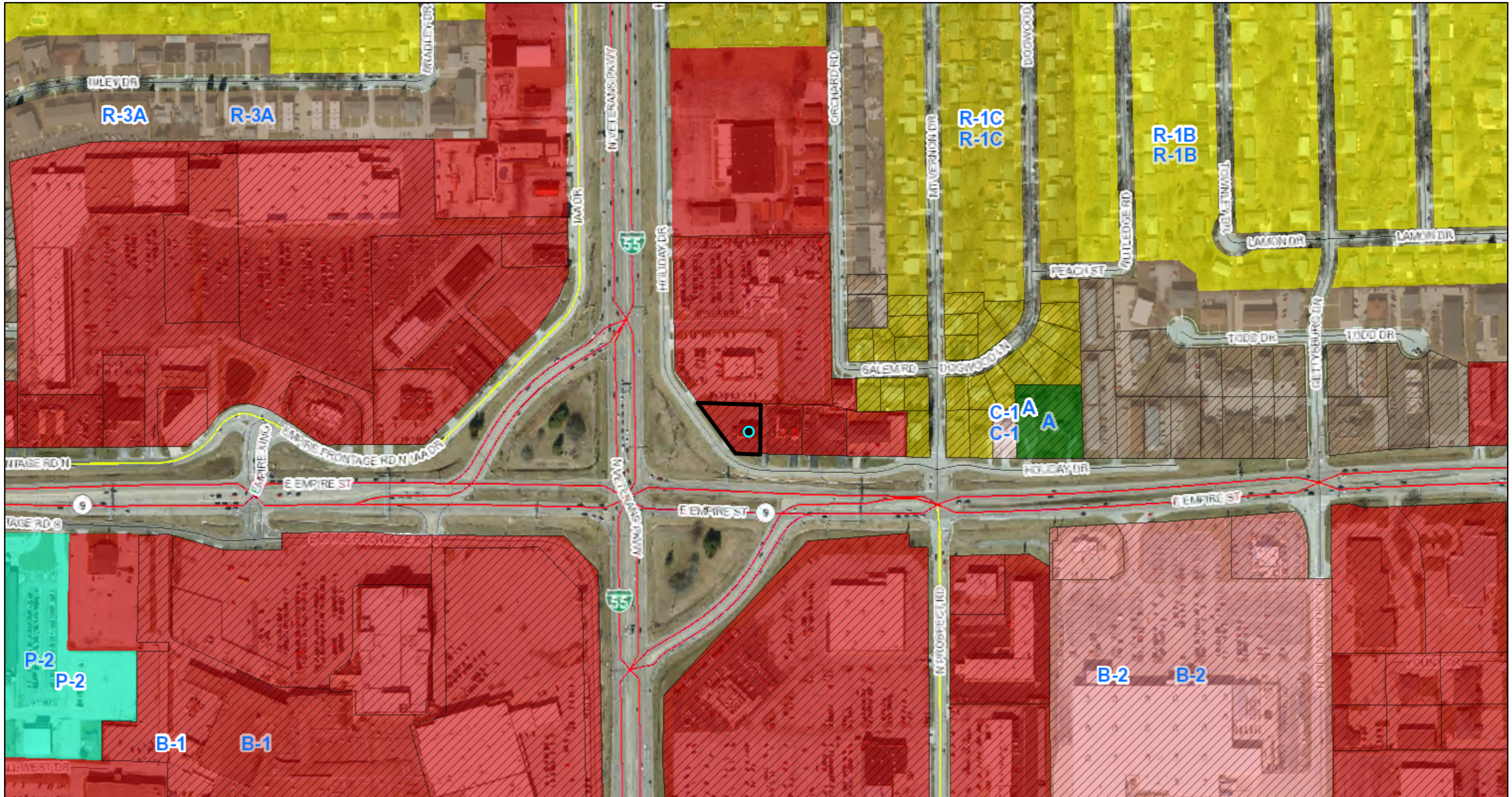


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City of Bloomington, McGIS, <http://www.McGIS.org/License>, Mclean County Museum of History

Zoning Map 1209 Holiday Drive

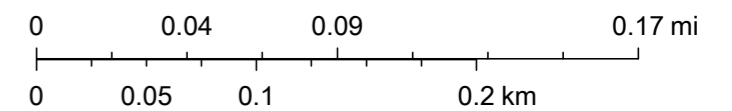


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Bloomington

- | | | |
|--|---|--|
| C-1 Office District | R-1A Single-Family Residence District | R-3B Multiple-Family Residence District |
| A Agricultural | R-1B Single-Family Residence District | R-4 Manufactured Home Park District |
| P-1 University District | R-1C Single-Family Residence District | GAP-1 Estate House, Manor |
| P-2 Public Land and Institutions | R-1H Single-Family Manufactured Home Residence District | GAP-2 House, Estate House, Manor |
| P-3 Airport District | R-2 Mixed Residence District | GAP-3 Iconic, House, Manor, Apt on corners |
| B-1 General Commercial District | R-3A Multiple-Family Residence District | GAP-4 Iconic, House, Manor, Rowhouse, Apt on corners |
| B-2 Local Commercial District | | |
| D-1 Central Business District | | |
| D-2 Downtown Transition District | | |
| D-3 Downtown Warehouse and Arts District | | |
| M-1 Restricted Manufacturing District | | |
| M-2 General Manufacturing District | | |

1:4,514



City of Bloomington, McGIS, <http://www.McGIS.org/License>, Mclean County Museum of History

87262

PUBLIC HEARING

A Public Hearing before the Bloomington Planning Commission will be held virtually on Wednesday, August 26, 2020 at 4:00 PM at www.cityblm.org/live on an application submitted by Mark Allen of Speed Lube 10- Minute Oil Change Shops Inc. (924 E. Eldorado St. Decatur, IL 62521-1914) for a site plan review and special use permit to allow for new construction of an oil change facility (vehicle & repair service) at 1209 Holiday Drive, Bloomington IL 61701. The applicant is also requesting the following variances: 1) 10' increase in the driveway width to allow a 40' drive (38.602B1); 2). 3' increase in building height for an overall height of 23' (44.1034E); 3). 19' decrease in required front yard setback for a 21' front yard (44.1034F); and 4). 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F). The Subject Property is legally described as: B & E SUB LOT 1 (PIN: 14-35-452-016). The application is available for review online <https://www.cityblm.org/planning>. To provide testimony on this item please register at least 15 minutes in advance of the start of the meeting at <https://www.cityblm.org/register>. Public comments can also be emailed at least 15 minutes prior to the start of the meeting to publiccomment@cityblm.org. Members of the public may also attend the meeting at City Hall at 109 E. Olive Street, Bloomington IL 61701. Physical attendance will be limited to the lesser of 50 persons or 50% of room capacity and will require compliance with City Hall COVID-19 protocols and social distancing. The rules for participation by physical attendance may be subject to change due to changes in law or to executive orders relation to the COVID-19 pandemic occurring after the publication of this notice. Changes will be posted at www.cityblm.org/register. This hearing will be accessible to individuals with disabilities in compliance with the ADA and other applicable laws. For special needs please contact the City Clerk at 109 E. Olive St., Bloomington, (309) 434-2240, cityclerk@cityblm.org or TTY at (309) 829-5115.

Published: Monday, August 10, 2020



Department of Community Development 115 E
Washington St, Ste 201
Bloomington IL 61701
(309)434-2226
planning@cityblm.org

August 10, 2020

Dear Property Owner or Occupant:

The Planning Commission of the City of Bloomington, Illinois, will hold a virtual public hearing on Wednesday, August 26, 2020 at 4:00 PM at www.cityblm.org/live on an application submitted by Mark Allen of Speed Lube 10- Minute Oil Change Shops Inc. (924 E. Eldorado St. Decatur, IL 62521-1914)

You are receiving this notice because you own or occupy property within a 500-foot radius of the subject property (refer to attached map). All interested persons may present evidence or testimony regarding said petitions, or ask questions related to the petitioner's requests at the scheduled public hearing.

The applicant is requesting a public hearing and action on a site plan review and special use permit to allow for new construction of an oil change facility (vehicle & repair service) at 1209 Holiday Drive, Bloomington IL 61701. The applicant is also requesting the following variances: 1) 10' increase in the driveway width to allow a 40' drive (38.602B1); 2). 3' increase in building height for an overall height of 23'(44.1034E); 3). 19' decrease in required front yard setback for a 21' front yard (44.1034F); and 4). 10' decrease in required side yard setback on the north side of the property for a 5' side yard setback (44.1034F).

The Subject Property is legally described as: B & E SUB LOT 1 PIN (14-35-452-016)

The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at www.cityblm.org/planning. To provide testimony on this item please register at least 15 minutes in advance of the start of the meeting at <https://www.cityblm.org/government/boards-commissions/register-for-public-comment>. Public comments can also be emailed at least 15 minutes prior to the start of the meeting to publiccomment@cityblm.org. Members of the public may also attend the meeting at City Hall. Physical attendance will be limited to the lesser of 50 persons or 50% of room capacity and will require compliance with City Hall Covid-19 protocols and social distancing. The rules for physical attendance may be subject to change due to changes in law or to executive orders related to the COVID-19 pandemic occurring after delivery of this notice. Changes will be posted at www.cityblm.org/register. This hearing will be accessible to individuals with disabilities in compliance with the ADA and other applicable laws. For special needs or accessible questions please contact the City Clerk at 109 E. Olive St., Bloomington, (309) 434-2240, cityclerk@cityblm.org or TTY at (309) 829-5115, preferably no later than five days before the hearing.

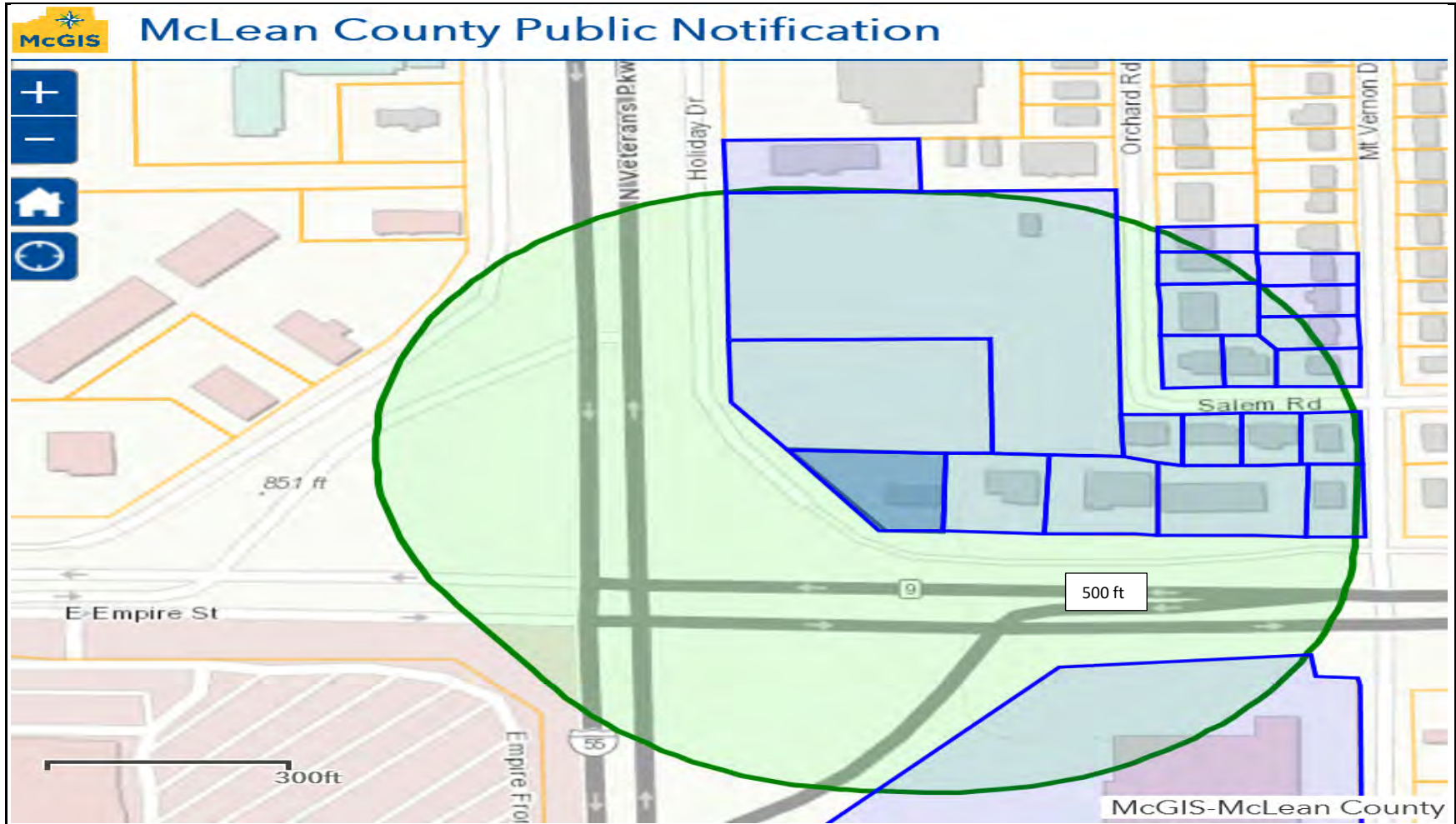
If you desire more information regarding the proposed petitions or have any questions, you may email planning@cityblm.org or call (309) 434-2226. Please note this meeting could be subject to change based on a lack of quorum or other reasons. Notice of a change will also be posted online at www.cityblm.org.

Sincerely,

Planning Division staff

Attachment: Map of notified properties within 500 ft of subject property

Public Hearing on August 26, 2020 for a Site Plan Review & Special Use Permit for 1209 Holiday Drive



TABATHA THURSTON
1704 SALEM RD
BLOOMINGTON, IL 61704

RAFAEL BOWEN
1702 SALEM RD
BLOOMINGTON, IL 61704

JAMES CORKILL
1104 MOUNT VERNON DR
BLOOMINGTON, IL 61704

M & M REAL ESTATE PARTNERSHIP
402 KINGSLEY ST
NORMAL, IL 61761

MARINELLY & FRANCISCO CASTILLO
1015 NORWAY CT
NORMAL, IL 61761

REAL ESTATE PARTNERS LLC
9646 WALNUT WAY
BLOOMINGTON, IL 61705

ROBERTO GARCIA
2003 TRACY DR APT 1
BLOOMINGTON, IL 61704

CARRIE VESELAK
1204 MOUNT VERNON DR
BLOOMINGTON, IL 61704

OTIS ALLEN
1215 HOLIDAY DR
BLOOMINGTON, IL 61704

TODD ANTHONY STOLFA
3 GRANDVIEW DR
NORMAL, IL 61761

EUNICE SPENCER
1703 SALEM RD
BLOOMINGTON, IL 61704

BOCHEW PROPERTIES LLC
2512 PINEY RUN
BLOOMINGTON, IL 61705

DONALD WOOD
204 N BEECH ST
NORMAL, IL 61761

TRUST PBB-140
1 BRICKYARD DR
BLOOMINGTON, IL 61701

GARCIA LEE PROPERTIES LLC
2003 TRACY DR APT 1
BLOOMINGTON, IL 61704

BING JING & YUN HUA XIAO LIN
3209 KIRKWOOD RD
BLOOMINGTON, IL 61704

CORE BLOOMINGTON COMMONS LLC
P O BOX 1243
NORTHBROOK, IL 60065

EMPIRE INVESTMENTS LLC
26 BAY PIONTE
BLOOMINGTON, IL 61704

PAUL PARK NASAN CORPORATION
2807 W WINDFLOWER CT
PEORIA, IL 61615

EASTLAND ANIMAL HOSPITAL
1704 E EMPIRE ST
BLOOMINGTON, IL 61704

PIZZA RANCH RE 1 LLC
204 19TH ST SE
ORANGE CITY, IA 51041

ARMAX AUTO SUPERSTORES
12800 TUCKAHOE CREEK PKWY
RICHMOND, VA 23238