



**AGENDA
BLOOMINGTON PLANNING COMMISSION
REGULAR MEETING
COUNCIL CHAMBERS
109 EAST OLIVE STREET
BLOOMINGTON, IL
WEDNESDAY, MAY 27, 2020 4:00 P.M.
THIS MEETING WILL BE HELD VIRTUALLY.
LIVE STREAM
ONLINE AT
[HTTPS://WWW.CITYBLM.ORG/LIVE](https://www.cityblm.org/live)**

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

This meeting is being held virtually via live stream. Public comment will be accepted up until 15 minutes before the start of the meeting. Written public comment must be emailed to publiccomment@cityblm.org and those wishing to speak live must register at <https://www.cityblm.org/register> prior to the meeting.

4. MINUTES Review the minutes of the March 11, 2020, regular meeting of the Bloomington Planning Commission.

5. REGULAR AGENDA

Note, due to COVID-19 social distancing considerations, this meeting is held virtually. Those wishing to testify or comment remotely regarding a public hearing listed below must register at <https://www.cityblm.org/register> at least 15 minutes prior to the start of the meeting.

- A. PR-05-20** Public Hearing, review and action on a petition submitted by CIP, LLC and JODI BLOOMINGTON MF, LLC requesting a legislative site plan review and special use permit for a multiple-family residence at 3216 Gerig Drive, Bloomington, IL 61701, in the B-2 Local Commercial District. (Ward 3)

6. OLD BUSINESS

7. NEW BUSINESS

- A. Recognition – Kevin Suess**
- B. Recognition – John Protzman**

C. Appointment – John Daneberger

D. Election of Chair

E. Election of Vice Chair

8. ADJOURNMENT



DRAFT
MINUTES

PUBLISHED BY THE AUTHORITY OF
THE PLANNING COMMISSION OF BLOOMINGTON, ILLINOIS
WEDNESDAY, MARCH 11, 2020, 4:00 P.M.

Roll Call

The Planning Commission convened in Regular Session in the City Council Chambers, City Hall Building, 109 E. Olive Street at 4:00 p.m., Wednesday, March 11, 2019. The Meeting was called to order by Chairperson Megan Headean.

Attendee Name	Title	Status
Ms. Megan Headean	Chair	Present
Mr. Tyson Mohr	Vice Chair	Present
Mr. Justin Boyd	Commissioner	Present
Mr. Thomas Krieger	Commissioner	Absent
Ms. Megan McCann	Commissioner	Present
Mr. Mark Muehleck	Commissioner	Present
Mr. John Protzman	Commissioner	Present
Mr. David Stanczak	Commissioner	Present
Mr. Kevin Suess	Commissioner	Present
Mr. George Boyle	Assistant Corporate Council	Present
Mr. Bob Mahrt	Community Development Director	Present
Ms. Katie Simpson	City Planner	Present
Ms. Casey Weeks	Assistant City Planner	Absent

Public Comment

Chairperson Headean opened the floor for public comment and the following people came forward: None.

Minutes

The Commission reviewed the minutes from the February 26, 2020 regular meeting of the Bloomington Planning Commission.

Vice chair Mohr made a motion, seconded by Commissioner McCann, that the Minutes from the February 26, 2020 minutes be approved as presented:

AYES: Suess; Stanczak; Protzman; Muehleck; McCann; Boyd; Mohr; Chairperson Headean

Motion carried

Regular Agenda

CASE Z-03-20 Public hearing, review and action on a petition submitted by The Boys and Girls Club (purchaser) requesting a zoning map amendment for a portion of

Sunnyside Park (1712-1724 W. Illinois Street) rezoning the property from R-1C, Single Family Residential District to P-2, Public Lands and Institutions.

Chairperson Headean opened the public hearing. Ms. Simpson provided the staff report and staff's positive recommendation. Ms. Simpson explained that the subject property, Sunnyside Park, is a 16-acre, city owned park created in 1960 by demolishing a number of homes and vacating a portion of Iowa Street. She shared photos of the subject property, an aerial view, a zoning map and photos of the surrounding and adjacent properties and uses. She explained that subject property has two zoning designations: R-1C Single Family Residential and P-2, Public Lands and Institutions. The portion of the property currently zoned, R-1C Single Family Residential District, is inappropriate and that the propose zoning, P-2 Public Lands and Institutions, is consistent with the zoning on the rest of the property. She explained that the R-1C zoning is a remnant of the single-family neighborhood that was raised in 1960 when Sunnyside Park was established. Ms. Simpson denoted that the petitioner, the Boys and Girls Club, operate in the neighborhood and have entered into a purchase agreement for 3.4 acres with the City of Bloomington. She stated that the petition is proposing to construct a new facility on the 3.4 acres and the zoning map amendment facilitates this reinvestment in vacant property. Ms. Simpson provided staff's analysis and concluded that the application meets the standards for a zoning map amendment.

Mr. Neil Finlen, Farnworth Group, spoke on behalf of the petitioner and the petition. He explained that he is the engineer working with the Boys and Girls Club on their new project. He introduced Tony Morstatter, Director of the Boys and Girls Club. Mr. Finlen described the location of the proposed parking lot and facility to the adjacent dwelling units.

No one, outside of the petitioner spoke in favor of the petition. No one spoke against the petition. Chairperson Headean closed the public hearing at 4:15 p.m.

Commissioner Boyd made a motion, seconded by Commissioner Stanczak, that the map amendment was in the public interested and that the Commission adopt the finding of fact as presented by staff, which resulted in the following:

AYES: Suess; Stanczak; Protzman; Muehleck; McCann; Boyd; Mohr; Chairperson Headean

NAYS: none.

Motion carried

Commissioner Boyd made a motion, seconded by Commissioner Stanczak, to recommend that the Council approve case Z-03-20, a petition submitted by The Boys and Girls Club (purchaser) requesting a zoning map amendment for a portion of Sunnyside Park (1712-1724 W. Illinois Street) rezoning the property from R-1C, Single Family Residential District to P-2, Public Lands and Institutions, which resulted in the following:

AYES: Suess; Stanczak; Protzman; Muehleck; McCann; Boyd; Mohr; Chairperson Headean

NAYS: none.

Motion carried

OLD BUSINESS

Vice Chair Mohr announced that he was coordinating a Smart Towns Conference for April 14, 2020 at 6:00 pm at Illinois Wesleyan University.

NEW BUSINESS

None.

ADJOURNMENT

Commissioner Boyd made a motion, seconded by Commissioner Stanczak, that the meeting be adjourned.

Motion carried (viva voce)

The meeting adjourned at 4:16 p.m.

CITY OF BLOOMINGTON

ATTEST

Chair Megan Headean

Katie Simpson, City Planner

DRAFT

**CITY OF BLOOMINGTON
 REPORT FOR THE PLANNING COMMISSION
 May 27, 2020**

CASE NUMBER:	SUBJECT PROPERTY:	TYPE:	SUBMITTED BY:
PR-05-20	3216 Gerig Drive	Legislative Site Plan Review and Special Use	Planning Division
PETITIONER'S REQUEST:	Site Plan review and Special Use for a new multiple-family residence at 3216 Gerig Dr.		
<i>Staff finds that the application meets the Zoning Ordinance's guidelines for site plan review and Special Use.</i>			

STAFF RECOMMENDATION: Approval

Staff recommends the Planning Commission pass the following motions recommending: That the City Council approve the Site Plan and Special Use for new construction of multiple-family residences *with the addition of a five-foot pedestrian connection to the public sidewalk* at 3216 Gerig Drive, case PR-05-20.



Figure 1 The subject property is highlighted in orange.

NOTICE

The application has been filed in conformance with applicable procedural requirements. Notice of the hearing was published in *The Pantagraph* on Monday, May 11, 2020.

GENERAL INFORMATION

Owner and Applicant: CIP, LLC and Jodi Bloomington MF, LLC

PROPERTY INFORMATION

Existing Zoning: B-2 Local Commercial District and S-1 Airport Noise Impact District
Existing Land Use: Vacant
Proposed Use: Multiple-Family Residential
Lot size: 33,000 ft² (165' x 200')
Property Information: 3216 Gerig Drive, AIRPORT PARK SUB 16TH ADDN LOT 132 0.76 ACRES (PIN: 15-31-451-008)

Surrounding Zoning and Land Uses

<u>Zoning</u>	<u>Land Uses</u>
North: R-3B Multiple-Family Residence District	North: Multi-family apartments
East: B-1 General Commercial District with S-1 Airport Noise Impact District	East: Dentist office
South: B-1 General Commercial District with S-1 hotel Airport Noise Impact District	South: Restaurants and
West: B-2 Local Commercial District	West: Multi-family apartments

PROJECT DESCRIPTION

Gerig Drive is a local street running east-west parallel and north of E. Empire Street accessed by turning west from Haeffele Way. Gerig Drive ends with a cul-de-sac behind a hotel providing access to multi-family housing and rear access to restaurants and a hotel fronting E. Empire Street/IL State Rt. 9. The subject property at 3216 Gerig Drive, approximately 0.75 acres, is zoned B-2 Local Commercial District with S-1 Airport Noise Impact District overlay and adjoins to B-1 General Commercial District on the east and south and R-3B Multiple-Family Residence District properties to the north. The lot to the west is zoned B-2 Local Commercial District containing multi-family apartments. Surrounding uses include a dentist office, multi-family apartments, restaurants, and hotel.

3216 Gerig Drive

The project consists of a multi-family residence with two structures each containing six apartments and a garage for each unit. The two buildings face each other with the driveway running north-south between them and a parking lot at the rear of the property providing ten spaces with an enclosed dumpster. There will be eight apartments with two bedrooms and four apartments with one bedroom requiring twenty-three parking spaces. Twenty-two parking spaces total are proposed which includes twelve garages and ten spaces in the lot with one ADA space. Parking adjustments include one legal on-street parking space can substitute for 0.5 of every required off-street parking space. There are five on-street parking spaces directly in front of the lot allowing a reduction in two parking spaces. Landscaping composed of trees and shrubs

provides screening between the parking lot and adjoining property to the north with multi-family apartments. Three bicycle parking spaces are required and will be provided.

The application and site plan are attached to this report. The Planning Commission is charged with reviewing the application submitted. The legislative site plan review gauges the general layout, location, and design of the project. It does not substitute as an approval of administrative site plan review by city staff prior to issuing building permits. All projects must obtain approvals from the Engineering and Building Safety divisions prior to construction. If there are major changes to a site plan previously approved by City Council, the changes will require a new legislative review.

ANALYSIS

Submittals

This report is based on the following documents, which are on file at the Community Development Department:

1. Application
2. Site Plans
3. Photometric Plan
4. Aerial photographs
5. Site Visit

The table below illustrates the zoning requirements and provided elements.

Site Area	33,000 square feet (0.76 acres)		
Building Area	8,804 square feet		
Requirement	Allowed/Required	Provided	Deviance
Max. FAR	0.5	0.5	Compliant
Min. Lot Width	None	165ft	Compliant
Min. Lot Area	None	33,000 square feet	Complaint
Front yard setbacks	None	28ft	Compliant
Side yard building setbacks	5ft	5ft	Compliant
Rear yard building setbacks	5ft	11.48ft	Compliant
Building Height	30ft	30ft	Compliant
Parking spaces	23 spaces 1.5 spaces per efficiency or one-bedroom dwelling unit; 2 spaces per 2 or more-bedroom dwelling units	22 (1 ADA)	Compliant +1
Parking Adjustment	One legal on-street parking space can be substituted for 0.5 of every required off-street parking space	5 spaces	-2 spaces
Bicycle Parking	25% of required vehicle parking	Not shown but will provide	(3 spaces required)
Minimum aisle widths	24ft	25ft	Compliant
Minimum parking stall dimensions (width/length)	8.5/18	9/18	+0.5/0
Parking lot perimeter landscaping (front/sides/rear)	12ft/6ft/6ft	20ft/40ft/11.48ft	+8ft/+34ft/0/+5.48ft

Building Foundation landscaping	Required	Provided	Compliant
Landscaping island required every 10 parking spaces	NA	NA	NA
5ft pedestrian route to sidewalk	Required	Not shown but will provide	
5ft pedestrian path through parking lot to entrance	Required	Provided	Compliant
Dumpster screening	6ft minimum	Provided	Compliant
Dumpster location	In Rear/Side yard	Provided	Compliant
Transitional yard landscaping	NA	NA	NA
Lighting Plan	Required	Provided	Compliant
Storm water management	Storm water requirements apply.	Provided	

B-2-Local Commercial District

The intent of the B-2 Local Commercial District is to provide retail, commercial and service establishments, including retail stores and personal service facilities, which serve the frequently recurring needs of surrounding local employment areas and residential neighborhoods. In addition to serving commercial purposes, this district encourages a mix of land uses, continued community investment through infill and site renovations, and a development form that supports mixed transportation modes, such as bicycle, pedestrian, and public transportation in addition to personal vehicles. Neighborhood shopping centers, particularly with a supermarket as a principal or anchor tenant, are appropriate at prominent intersections. The protection of surrounding residential properties from adverse impacts is a primary focus of this district.

S-1 Aircraft Noise Impact District

The subject property is located within the 60 Ldn contour of the S-1 Aircraft Noise Impact District overlay which determines it shall adhere to restricted uses between the 60 Ldn and 65 Ldn Airport Noise Impact Zones as stated in Zoning Chapter 44, 8-2, B. 2. This portion of the City Code provides for additional insulation, insulated glass, and central air conditioning to meet the goal of achieving a day/night average maximum interior noise level of 45 dBA and stipulated Sound Transmission Class (STC) ratings for new residential facilities.

Special Use Required

The subject property adjoins an R-3B Multiple Family Residence District to the north which contains multi-family apartments. The B-2 Local Commercial District primarily allows two-family and multiple-family residential units with a Special Use when adjoining a Residential District boundary line. New development in this district requires a legislative site plan review and approval by City Council. The purpose of the review is to ensure the new development is compatible in mass, scale, and use with surrounding development and will not negatively impact adjacent property owners.

Compliance with the Comprehensive Plan 2035

The Infill Redevelopment map identifies 3216 Gerig Drive as a Tier 1 development priority since it is located adjacent to city utilities and already annexed into the corporate limits. The Future Land Use map shows the area as regional commercial.

ED-4.2 Prioritize infill and development to spur growth and reinvestment in the City.

ED-4.3 Proposes to find buffer areas between residential and industrial uses to continue to promote less intense businesses and opportunity for economic development.

Staff Recommendations

The current site plan does not show a 5ft pedestrian path connecting the apartments with the public sidewalk along Gerig Drive. A five-foot pedestrian connection should be added to the site plan compliant with 44.12-14.C.3.

The plan should also be amended to show bicycle parking compliant with 44.12-13. The architect has agreed to provide these in an update site plan prior to action by City Council.

Findings of Fact:

For concurrent site plan and special use applications, the Planning Commission shall report to the Council its findings of fact and recommendations, including the stipulations of additional conditions and guarantees, when they are deemed necessary for the protection of the public interest or to meet the standards as specified herein. No special use application shall be recommended by the Planning Commission for approval unless the Commission finds:

1. **that the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare**
The proposed use is consistent with the surrounding residential and business uses. **The Standard is met.**
2. **that the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;** The proposed building is consistent in mass, height, and has design elements that make it compatible with surrounding properties. Residents will be able to access restaurants and offices providing amenities to residents within walking distance. **The Standard is met.**
3. **that the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district;** The amount of traffic related to the proposed special use is consistent with other nearby uses. **The Standard is met.**
4. **that adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided;** The lot has adequate roads and utilities, and the development has on-site storm water detention that will need to meet the storm water management requires. **The Standard is met.**
5. **that adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;** The site plan provides adequate vehicular circulation. A five-foot pedestrian access connecting the apartments to the public sidewalk along Gerig Drive is required for compliance with 44.12-14.C.3. of the City Code. The architect has agreed to provide this. **The Standard is met.**

6. **that the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Planning Commission. (Ordinance No. 2006-137). The Standard is met.**

The Site Plan review process is intended to protect the public interest in safety, economy, and from adverse site development that may be detrimental to neighboring property owners and the surrounding area. The following standards and objectives shall guide the review of City staff, the Planning Commission, and the City Council in making a determination on the proposed Site Plan (44. 17-9):

- A. *The extent to which potential incompatibilities between the proposed development and surrounding existing development and/or zoning is minimized by such design features as placement of buildings, parking areas, access driveways and existing or proposed topography.* Landscape screening is provided with shrubs and trees between the parking lot and multi-family residences to the north. Placement of the driveway between the two apartment buildings blocks traffic noise and headlights from nearby apartment buildings and office. Staff does not see potential conflicts with the adjoining land uses of other apartments, dentist office, or restaurants. **The Standard is met.**
- B. *The extent to which the proposal minimizes any adverse impact of the development upon adjoining land, including the hours of use and operation and the type and intensity of activities which may be conducted.* Staff does not foresee adverse impacts to adjoining land uses including the dental office and multi-family apartments. **The Standard is met.**
- C. *The extent to which adequately improved streets connected to the improved arterial street system are available or can be reasonably supplied to serve the uses proposed in the development.* Access to the site via E. Empire Street by Haeffele Way to Gerig Drive is adequate. **The Standard is met.**
- D. *The extent to which the proposed development will favorably or adversely affect other persons or property and, if so, whether because of circumstances peculiar to the location the effect is likely to be greater than is ordinarily associated with the development of the type proposed.* The orientation of the building will facilitate north to south traffic flow reducing headlights shining into neighboring residential windows. The perimeter landscaping on the north will provide a screen that will also block headlights to the apartments to the north and improve the appearance of the property. **The Standard is met.**

STAFF RECOMMENDATION:

Staff recommends the Planning Commission pass the following motion recommending: That the City Council approve the Site Plan and Special Use for new construction of multiple-family residences with the addition of the five feet pedestrian connection to the public sidewalk at 3216 Gerig Drive, case PR-05-20.

Respectfully submitted,

Casey Weeks
Assistant City Planner

Attachments:

1. Draft Ordinance
2. Exhibit A- "Legal Description"
3. Exhibit B- Site Plans
4. Petition for site plan review
5. Zoning Map
6. Aerial Map
7. Newspaper publication and neighborhood notice



Figure 2 Looking west on Gerig Drive. The grass lot is 3216 Gerig Drive.



Figure 3 Multiple family residences on 3204-3212 Gerig Drive.



Figure 4 The cul-de-sac at the end of Gerig Drive looking west. The Holiday Inn Hotel is on the left.



Figure 5 The rear elevation of Holiday Inn from Gerig Drive facing E. Empire Street.



Figure 6 Multi-family residences at 3204 Gerig Drive.



Figure 7 Looking east from 3216 Gerig Drive towards Prairie Dental Office.



Figure 8 intersection of Gerig Drive and Haeffele Way.



Figure 9 Entrances from Gerig Drive to restaurants facing E. Empire Street.



Figure 10 Rear elevation of Buffalo Wild Wings from Gerig Drive.

ORDINANCE NO 2020-____

AN ORDINANCE APPROVING AN APPLICATION SUBMITTED BY CIP, LLC AND JODI BLOOMINGTON MF, LLC REQUESTING APPROVAL OF A SITE PLAN AND SPECIAL USE PERMIT FOR A MULTIPLE-FAMILY RESIDENCE IN THE B-2 LOCAL COMMERCIAL DISTRICT FOR THE PROPERTY AT 3216 GERIG DRIVE.

WHEREAS, there was heretofore filed with the Community Development Department of the City of Bloomington, McLean County, Illinois, an application requesting a legislative site plan approval and approval of a special use permit for a multiple-family residence in the B-2 Local Commercial District for the land described in Exhibit “A”, attached hereto and made a part hereof by this reference; and,

WHEREAS, after proper notice, the City of Bloomington Planning Commission held a public hearing and found that the site plan, dated May 27, 2020, represented in Exhibit “B” attached hereto and made a part hereof by this reference, aligned with the goals of the Comprehensive Plan and complied with the standards for approval of a special use set forth in Chapter 44, Division 17-7H of the City Code, specifically:

- 1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, comfort or general welfare; and,
- 2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and,
- 3) That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district; and,
- 4) That adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided; and
- 5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and,

WHEREAS, the Planning Commission recommended the City Council of the City of Bloomington approve said site plan and special use permit.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Bloomington, McLean County, Illinois:

1. That the above recitals are hereby incorporated into and made a part of this ordinance as though fully set forth herein.
2. That the City Council hereby adopts the findings of fact of the Planning Commission as set forth above.

3. That the site plan, dated May 27, 2020, represented in Exhibit “B” is hereby approved with the addition of a five feet pedestrian connection to the public sidewalk compliant with 44.12-14.C.3. of the City Code.
4. That the requested special use permit for a multiple-family residence in the B-2 Local Commercial District at 3216 Gerig Drive is hereby approved.
5. That this Ordinance shall be in full force and effective as of the date of its passage and approval.

Passed this _____ day of _____, 2020.

Approved this _____ day of _____, 2020.

APPROVED:

Mayor Tari Renner

ATTEST:

City Clerk Leslie Yocum

DRAFT

Exhibit "A"

3216 Gerig Drive

AIRPORT PARK SUB 16TH ADDN LOT 132 .76 ACRES

(PIN: 15-31-451-008)

DRAFT

GERIG DRIVE APARTMENTS

3216 GERIG DRIVE

BLOOMINGTON ILLINOIS

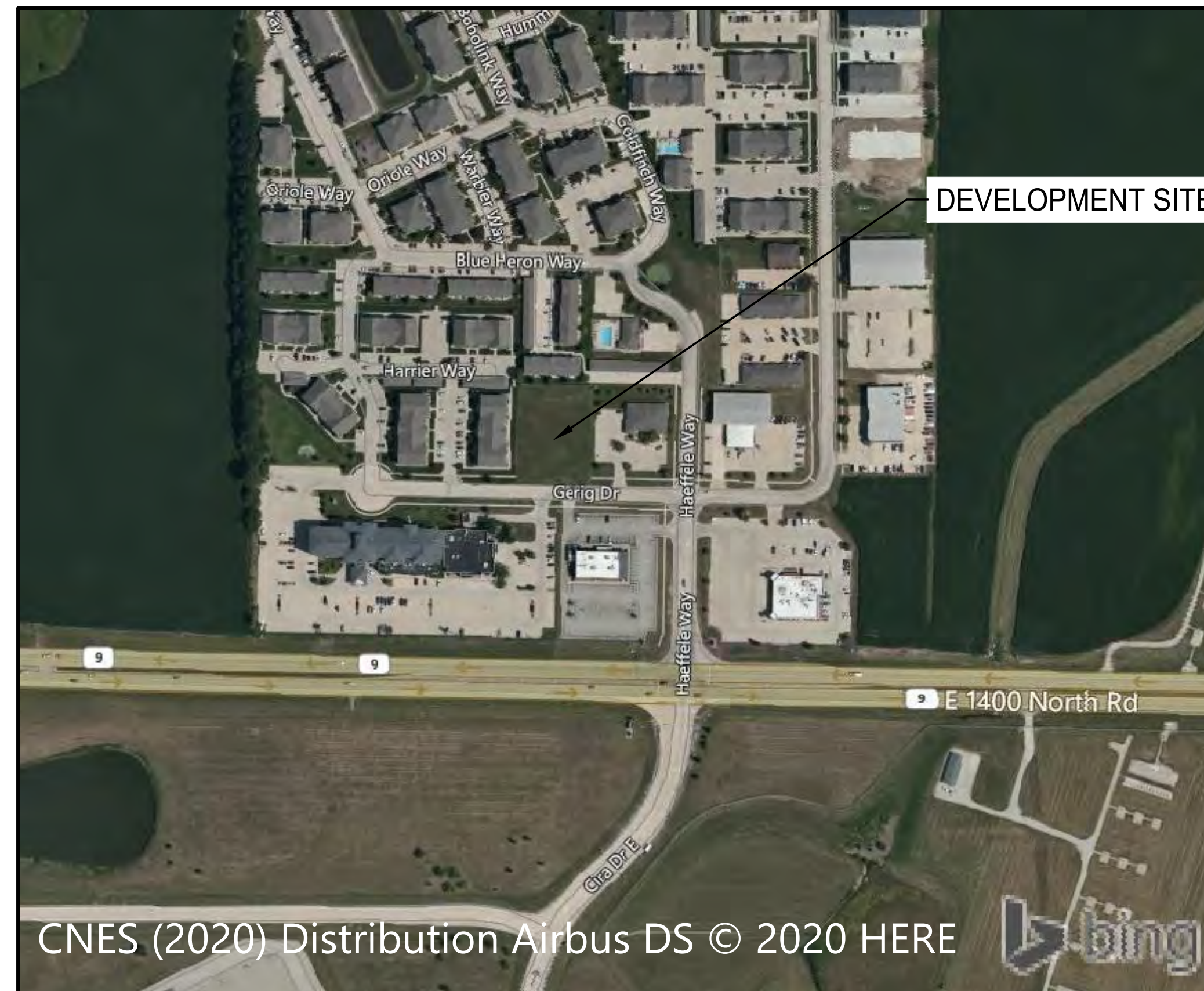


Exhibit B

SHEET INDEX

- C000 COVER SHEET
- C101 EXISTING CONDITIONS
- C201 SITE DEVELOPMENT PLAN
- C202 GEOMETRIC LAYOUT PLAN
- C301 GRADING & DRAINAGE PLAN
- C302 STORM SEWER MANAGEMENT PLAN
- C401 EROSION CONTROL PLAN
- C402 EROSION CONTROL NOTES
- C501 GENERAL NOTES & DETAILS
- C502 GENERAL NOTES & DETAILS

OWNER / DEVELOPER

CORE 3 PROPERTY MANAGEMENT
1716 RT DUNN DRIVE #4
BLOOMINGTON, IL 61701
PH: (309)808-2125

ARCHITECT

SCHARNETT ASSOCIATES ARCHITECTS, LLC
118 WEST WASHINGTON STREET
BLOOMINGTON, IL 6170

L:\LE-Projects\2020\016888 - Cor3 - Gerig\DWG\016888 - Sheet - Existing Conditions.dwg 4/29/2020 1:49:08 PM

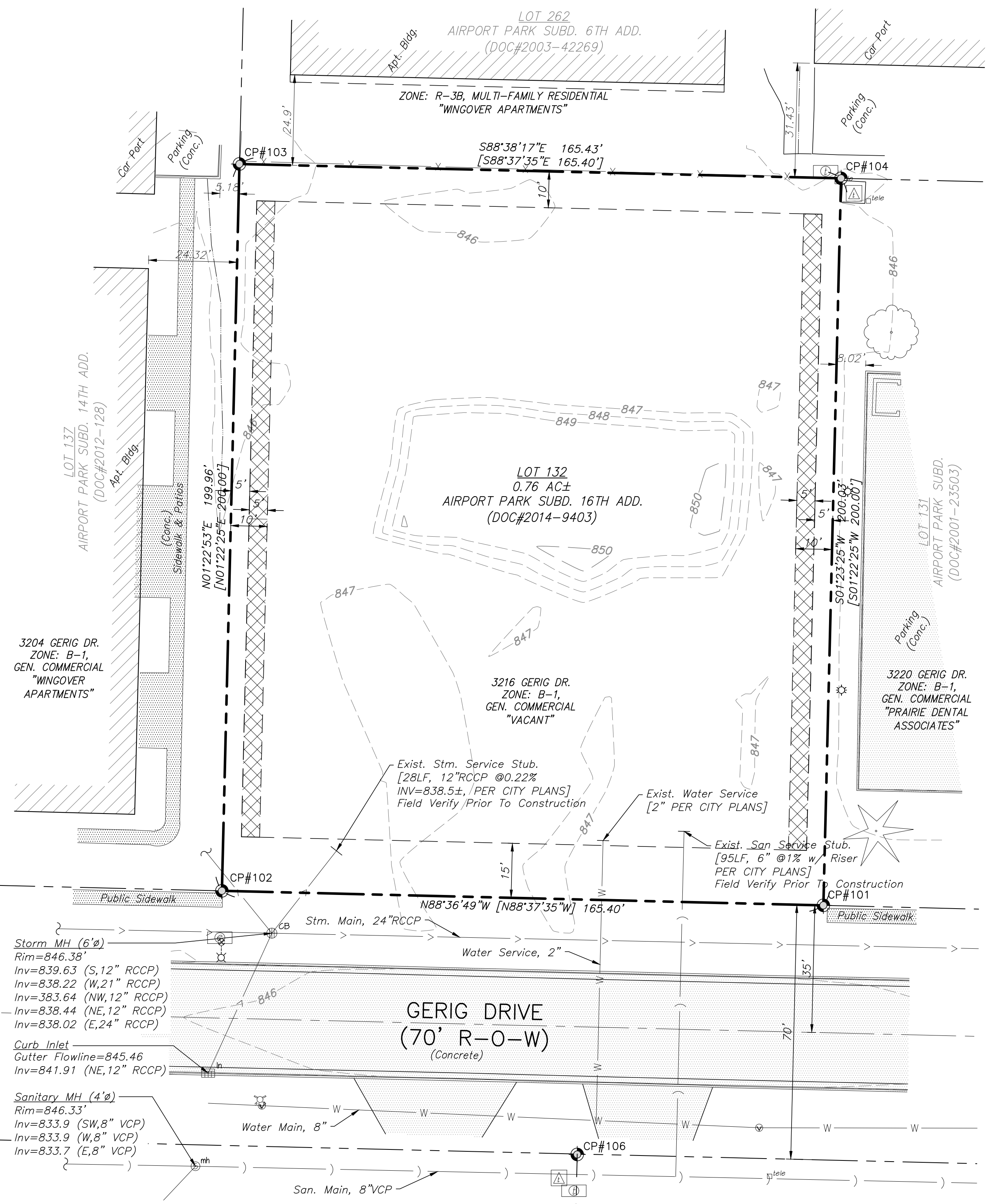
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POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP#101	1392731.19	823715.84	846.74	FOUND PIN
CP#102	1392735.19	823550.49	846.44	FOUND PIN
CP#103	1392935.09	823555.31	845.57	FOUND PIN
CP#104	1392931.16	823720.70	846.11	FOUND PIN
CP#106	1392662.68	823648.17	846.63	FOUND PIN

LEGEND

- CATCH BASIN
- CURB INLET
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- ELECTRIC VAULT / HANDHOLE
- ELECTRIC PARKING LIGHT W/2' CONCRETE BASE
- STREET LIGHT
- TRANSFORMER
- COMMUNICATION BOX / HANDHOLE
- COMMUNICATION PEDESTAL
- WATER MAIN
- STORM SEWER LINE
- SANITARY SEWER LINE
- BUILDING
- PROPERTY/LOT LINE
- UTILITY EASEMENT
- DECIDUOUS TREE
- CONIFEROUS TREE
- MAJOR CONTOUR LINE (5FT INTERVAL)
- MINOR CONTOUR LINE (1FT INTERVAL)

SCALE: 1" = 20'

0 20' 30' 40'



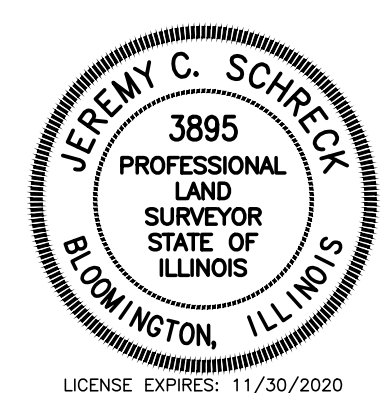
PIN: 15-31-451-008

LEGAL DESCRIPTION:

Lot 132 in Airport Park Subdivision, Sixteenth Addition to the City of Bloomington according to the plat thereof recorded as document number 2014-9403 in the Office of the Recorder, in McLean County, Illinois.

GENERAL NOTES (BOUNDARY AND TOPOGRAPHIC SURVEY):

- THIS OFFICE HAS NOT ABSTRACTED THE PARCELS DEPICTED HEREON OR ANY CLAIMS OF TITLE, EASEMENTS, OR RESTRICTIONS THAT MAY AFFECT SAID PARCELS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON.
- THE BEARINGS AND DISTANCES AS DEPICTED HEREON ARE MEASURED, AND WHERE MEASURED BEARINGS AND/OR DISTANCES DIFFER FROM RECORDED BEARINGS AND/OR DISTANCES, THE RECORDED MEASUREMENTS HAVE BEEN SHOWN IN SQUARE BRACKETS.
- THE TOPOGRAPHICAL AND BOUNDARY INFORMATION DEPICTED HEREON REFLECTS OBSERVATIONS MADE DURING SITE VISITS MADE BY LAND ENGINEERS, LLC, FROM MARCH 4 THROUGH APRIL 22, 2020.
- THE UTILITY INFORMATION DEPICTED HEREON IS BASED ON OBSERVED ABOVE GROUND EVIDENCE AND FROM RECORD PLANS OBTAINED FROM THE CITY OF BLOOMINGTON. A UTILITY LOCATE WAS NOT PERFORMED IN CONJUNCTION WITH THIS SURVEY.
- CONTROL POINTS AND/OR BENCHMARKS HAVE BEEN ESTABLISHED FOR THIS PROJECT AS DEPICTED HEREON. THE BENCHMARK ELEVATION IS BASED ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE FULLY RESPONSIBLE FOR SAME. NOTIFY LAND ENGINEERS, LLC, IF CLARIFICATION OF OR REVISION TO ANY INFORMATION IS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES AND HAVING ALL UNDERGROUND UTILITIES PROPERLY LOCATED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.



I do hereby certify that in the month of March, 2020 a survey of the above described property was made under my direction and the plat hereon drawn is a correct representation of said survey. I further certify that this professional service conforms to the current Illinois minimum standards for a boundary survey.

04/29/20
 Dated Illinois Professional Land Surveyor No. 3895

STAMP

NO.	DATE	APPR.	DESCRIPTION

SCALE: 1" = 20'

DRAWN BY: LCH
 DATE: 4/29/20

CHECKED BY: JCS
 DATE: 4/29/20

PROJECT: GERIG DRIVE APARTMENTS
 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
 EXISTING CONDITIONS

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 Fax: 309-527-4394
 Design Firm No. 184-004522 Expires: 4/30/2021

PROJECT NO. 016888

PLAN SET DATE

SHEET NUMBER C101

SPECIAL CONSTRUCTION NOTES:

- CURB SHALL BE 6" BARRIER CURB. SEE DETAIL I/C501 & J/C501.
- SEE ARCHITECTURAL PLANS FOR BUILDING SIDEWALK MATERIAL TYPE.
- CONTRACTOR SHALL INSPECT EXISTING SANITARY SERVICE FOR SIZE AND DEPTH AND IF SUITABLE, SHALL CONNECT SAID SERVICE TO THE EAST BUILDING. COORDINATE WITH PLANS PLANS.
- NEW SANITARY SERVICE FOR WEST BUILDING SHALL BE INSTALLED ACROSS GERIG DRIVE UTILIZING THE OPEN CUT METHOD.
- WATER SERVICES SHALL BE INSTALLED ACROSS GERIG DRIVE UTILIZING THE OPEN CUT METHOD.
- CONTRACTOR SHALL DISCONNECT EXISTING WATER SERVICE AT THE WATER MAIN IN ACCORDANCE WITH THE CITY OF BLOOMINGTON REQUIREMENTS AND SHALL REMOVE AND DISPOSE OF ALL WASTE MATERIALS ASSOCIATED WITH SAID WATER SERVICE. CONTRACTOR SHALL REPLACE DAMAGED PAVEMENT IN ACCORDANCE WITH THE CITY OF BLOOMINGTON REQUIREMENTS. DISCONNECT SHALL BE WITNESSED BY THE CITY OF BLOOMINGTON WATER DEPARTMENT. CONTRACTOR SHALL CALL THE CITY OF BLOOMINGTON WATER DEPARTMENT AT (309)343-2426 A MINIMUM OF 2 WORKING DAYS IN ADVANCE OF PERFORMING WORK.
- PCC SIDEWALK IN R.O.W SHALL BE 6" THICK, EXCEPT AT DRIVE WHERE IT SHALL BE 8" THICK.
- CONTRACTOR SHALL COORDINATE SEWER & WATER SERVICE CONNECTIONS WITH PLUMBING PLANS.

SITE CHARACTERISTICS:

ZONING: B-1 - GENERAL COMMERCIAL DISTRICT

PRE-DEVELOPED CONDITIONS
 TOTAL AREA: = 33,081 S.F. (0.76 AC.) 100%
 IMPERVIOUS = 0 S.F. (0.0 AC.) 0%
 PERVIOUS = 33,081 S.F. (0.76 AC.) 100%

POST-DEVELOPED CONDITIONS
 TOTAL AREA: = 33,081 S.F. (0.76 AC.) 100%
 IMPERVIOUS = 19,525 S.F. (0.45 AC.) 59.2%
 PERVIOUS = 13,556 S.F. (0.31 AC.) 40.8%

TOTAL DISTURBED AREA (APPROX): 33,081 S.F. (0.76 AC.)

LEGEND

- STORM MANHOLE
- WATER VALVE
- PROPOSED SANITARY SERVICE LINE
- PROPOSED STORM LINE
- PROPOSED WATER SERVICE LINE
- PROPOSED BUILDING
- PROPOSED BOUNDARY LINE
- SF SILT FENCE LINE
- HANDICAP SYMBOL
- 780 MAJOR CONTOUR LINE (5FT INTERVAL)
- 782 MINOR CONTOUR LINE (1FT INTERVAL)
- 780.92 = PROPOSED FLOOD ROUTE
- = PROPOSED SPOT ELEVATION
 TP = TOP OF PAVEMENT
 TW = TOP OF WALK
- [Pattern] = PROPOSED CONCRETE (HEAVY)
- [Pattern] = PROPOSED CONCRETE (STANDARD)
- [Pattern] = PROPOSED LANDSCAPE
- [Pattern] = PROPOSED CONCRETE SIDEWALK

GENERAL CONSTRUCTION NOTES:

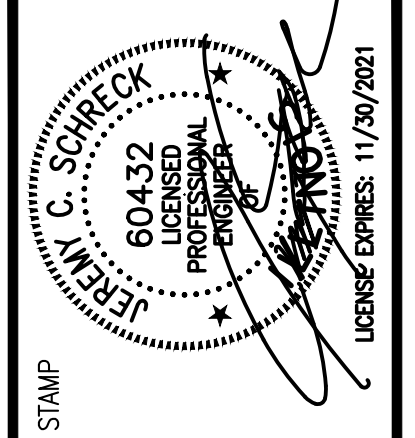
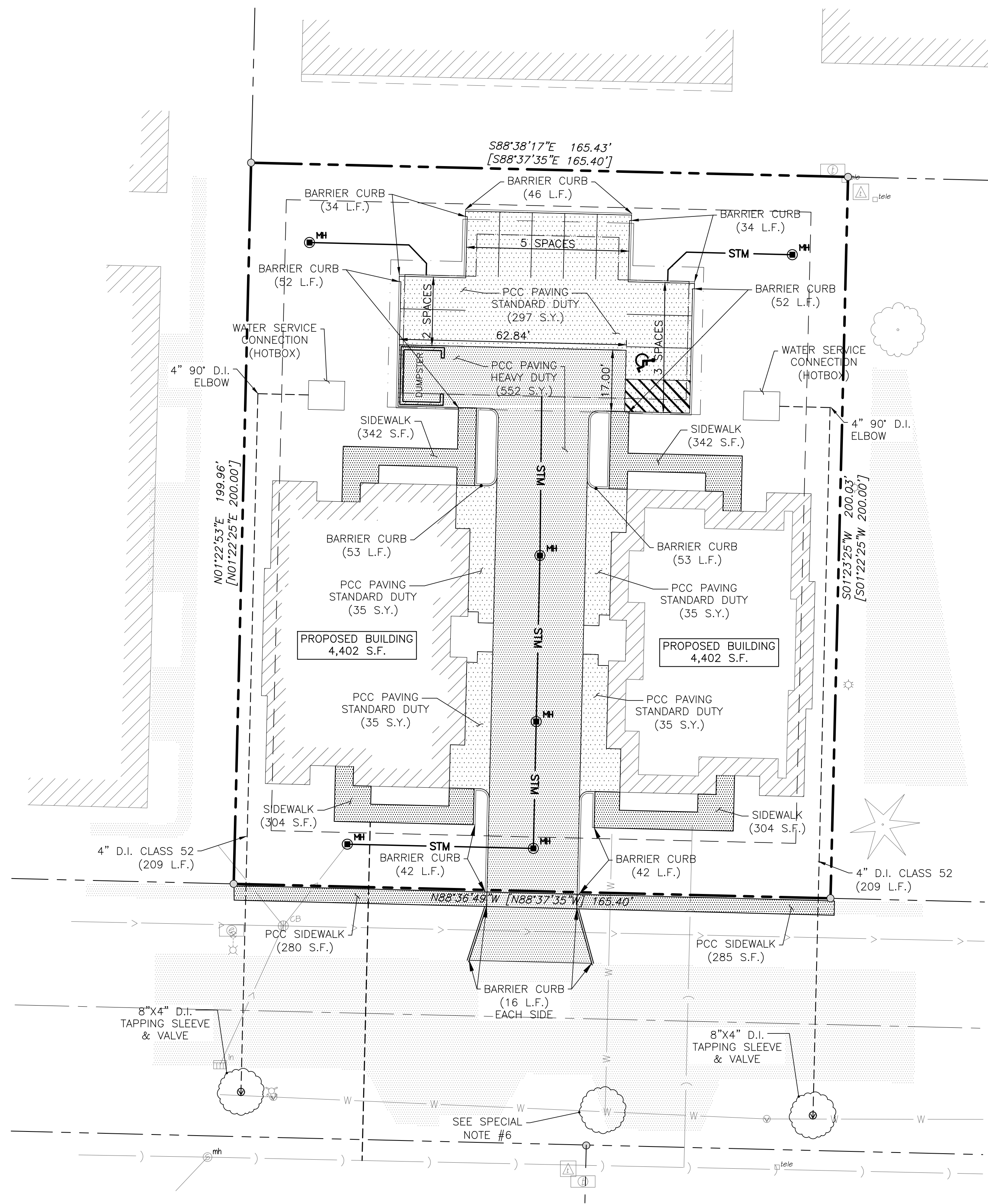
- ALL MATERIAL AND METHODS FOR PAVING AND EARTHWORK SHALL BE DONE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION) EXCEPT AS NOTED DIFFERENTLY ON THE PLANS. HERE AFTER THESE WILL BE REFERRED TO AS STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE THE BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND SILTATION AS REQUIRED BY TOWN OF NORMAL PERMITS. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND THE CITY OF BLOOMINGTON. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITION OF SILT. THE OWNERS MAY, AT THEIR OWN OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF MUD SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER, PROJECT ENGINEER, OR CITY OF BLOOMINGTON, ALL AT THE EXPENSE OF THE CONTRACTOR.
- THE STANDARD SPECIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SECTIONS:
 - SECTION 201 - CLEARING, TREE REMOVAL AND PROTECTION, CARE AND REPAIR OF EXISTING PLANT MATERIAL
 - SECTION 204 BORROW AND FURNISHED EXCAVATION
 - SECTION 205 - EMBANKMENT
 - SECTION 208 - TRENCH BACKFILL
 - SECTION 212 - FINAL SHAPING, TRIMMING AND FINISHING
 - SECTION 250 - SEEDING - CLASS I
 - SECTION 280 - TEMPORARY EROSION CONTROL
 - SECTION 301 - SUBGRADE PREPARATION
 - SECTION 351 - AGGREGATE BASE COURSE
 - SECTION 420 - PORTLAND CEMENT CONCRETE PAVEMENT
 - SECTION 780 - PAVEMENT MARKING
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND EXTENT OF ALL UTILITIES ABOVE AND BELOW GROUND IN THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING J.U.L.I.E. (1-800-892-0123), A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE LOCATIONS OF THE EXISTING UTILITIES IN THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL REMOVE WASTE AND UNSUITABLE MATERIAL FROM THE OWNER'S PROPERTY AND DISPOSE OF THE SAME, OFF-SITE IN A LEGAL MANNER.
- THE CONTRACTOR SHALL REMOVE 6" OF TOPSOIL AND STOCKPILE AT A LOCATION DETERMINED BY THE OWNER. ANY UNUSED MATERIAL AT THE COMPLETION OF THE PROJECT SHALL BE STOCKPILED AT A LOCATION DETERMINED BY THE OWNER.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED WITH SEEDING - CLASS I - LAWN MIXTURE.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL DAMAGE CAUSED AS A RESULT OF THE CONSTRUCTION ACTIVITIES. THE DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL FIELD TILE ENCOUNTERED DURING SITE IMPROVEMENT CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACHIEVED THE FIELD TILE SHALL BE REPAIRED WITH A NEW PIPE OF SIMILAR DIAMETER AND MATERIAL TO THE ORIGINAL LINE AND RETURNED TO OPERATIONAL CONDITION. ADDITIONALLY, AN "AS-BUILT" RECORD OF THE LOCATION OF ALL FIELD TILES FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE MADE BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
- ALL HANDICAP PARKING STALLS SHALL BE MARKED WITH AN R7-8 "RESERVED PARKING" SIGN AND AN R7-1101 "250 FINE" SIGN. U.S. STANDARD SIGNS SHALL BE PLACED AT THE HEAD OF THE PARKING STALLS SHALL BE PAINTED IN ACCORDANCE WITH THE ADA STANDARDS AND THE STANDARD SPECIFICATIONS.

SEWER AND WATER UTILITY NOTES:

- ALL MATERIAL AND METHODS FOR CONSTRUCTION OF SANITARY SEWER SERVICE, WATER SERVICE AND STORM SEWER SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AND THE TOWN OF NORMAL MANUAL OF PRACTICE EXCEPT AS NOTED DIFFERENTLY ON THE PLANS. HERE AFTER THESE WILL BE REFERRED TO AS STANDARD SPECIFICATIONS.
- STORM SEWER MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SHALL CONFORM TO ONE OF THE FOLLOWING:
 - REINFORCED CONCRETE CULVERT, STORM DRAIN AND SEWER PIPE.
 - DUCTILE IRON PIPE, CLASS 150, CONFORMING TO A.N.S.I./A.W.W.A. C-151/A21.51, WITH SINGLE GASKET JOINTS MEETING A.N.S.I./A.W.W.A. C-111/A21.11, WITH STANDARD CEMENT LINING AS PER A.N.S.I./A.W.W.A. C-104/A21.4 AND WITH BITUMINOUS COATING AS PER SECTION 51-8.1 OF A.N.S.I./A.W.W.A. C-151/A21.51.
 - PVC PIPE SHALL CONFORM TO ASTM 3034, TYPE PSM AND SHALL BE MADE OF PVC HAVING A MINIMUM CELL CLASS OF R454-C AND SHALL HAVE A MINIMUM PIPE STIFFNESS OF 46 PSI.
- CATCH BASINS, MANHOLES, INLETS AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- UNDERGROUND STORM WATER DETENTION SYSTEM SHALL BE RTANK SYSTEM. UNDERGROUND STORM WATER DETENTION STRUCTURE SHALL BE CONSTRUCTED PER MANUFACTURER SPECIFICATIONS. SEE RTANK MANUFACTURER FOR DETAILS.
- SANITARY SERVICES SHALL BE LAID AT A SLOPE OF 1.0% OR GREATER. CHANGES IN SLOPE ON THE SERVICE MAY BE BY "BREAKING JOINTS" PROVIDED THE JOINT SEAL IS AIR TIGHT AND THE RECOMMENDATIONS OF THE MANUFACTURER ARE NOT EXCEEDED. FITTINGS NOT GREATER THAN A 45° BEND MAY BE USED WHERE CHANGES IN GRADE DICTATE.
- CONSTRUCTION OF WATER SERVICE LINES AND APPURTENANCES MUST CONFORM IN ALL RESPECTS TO AWWA C800 STANDARDS OF LATEST REVISIONS. WHERE COPPER PIPE IS USED, SERVICE PIPE MUST BE "TYPE K" SEAMLESS COPPER TUBING CONFORMING TO ASTM SPECIFICATION B-88-62, WITH RED BRASS FITTINGS CONFORMING TO ASTM B-62 SPECIFICATIONS.
- ALL WATER SERVICE CONNECTIONS AND PIPING SHALL BE MAINTAINED AT A DEPTH OF FOUR (4) FEET MINIMUM BURIAL TO PREVENT FREEZING OR BE PROPERLY INSULATED AS APPROVED BY THE DIRECTOR OF WATER.
- THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND DEPTH OF THE EXISTING SANITARY AND WATER SERVICE LINES, AND SHALL BE COORDINATED WITH THE PLUMBING PLANS.
- A GRANULAR CRADLE (BEDDING AND HAUNCHING) WILL BE REQUIRED FOR ALL STORM SEWERS AS SHOWN IN DETAIL C/C502. MATERIAL FOR THE GRANULAR CRADLE SHALL COMPLY WITH EITHER FA1 OR FA2, EXCEPT THE PERCENT PASSING THE 75µm (NO. 200) SIEVE SHALL BE 2±2, IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL TRENCHES UNDER ANOTHER SEWER OR WATER MAIN, OR UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED STREETS, SIDEWALKS AND/OR DRIVEWAYS SHALL BE BACKFILLED WITH TRENCH BACKFILL MATERIAL IN ACCORDANCE WITH SECTION 208 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- MATERIAL FOR TRENCH BACKFILL SHALL COMPLY WITH ARTICLE 1003.04 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, EXCEPT THAT THE BEDDING TYPE FOR ALL SANITARY SEWERS SHALL BE ASTM C12-04, ¾" - ¾" CRUSHED STONE, IDOT GRADATION CA 11. THE MINIMUM BEDDING CLASS FOR SANITARY SEWERS SHALL BE CLASS B AND THE MINIMUM SAFETY FACTOR SHALL BE 1.20, AND SAND BEDDING SHALL NOT BE USED FOR SANITARY SEWERS.
- THE CITY OF BLOOMINGTON WATER DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONNECTING TO ANY CITY UTILITY.

PAVEMENT & EARTH EXCAVATION NOTES

- P.C. CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE STANDARD SPECIFICATIONS.
- AGGREGATE BASE COURSE, TYPE B SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 301 OF THE STANDARD SPECIFICATIONS.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 301 OF THE STANDARD SPECIFICATIONS.
- SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM 698.
- ALL EARTH EMBANKMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
- MAXIMUM JOINT SPACING SHALL BE 12 FEET.
- CONTRACTOR SHALL SUBMIT EXPANSION JOINT LAYOUT TO ENGINEER FOR REVIEW.



STAMP

NO.	DATE	APPR.	DESCRIPTION

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DATE: 4/29/20

CHECKED BY: JCS
DATE: 4/29/20

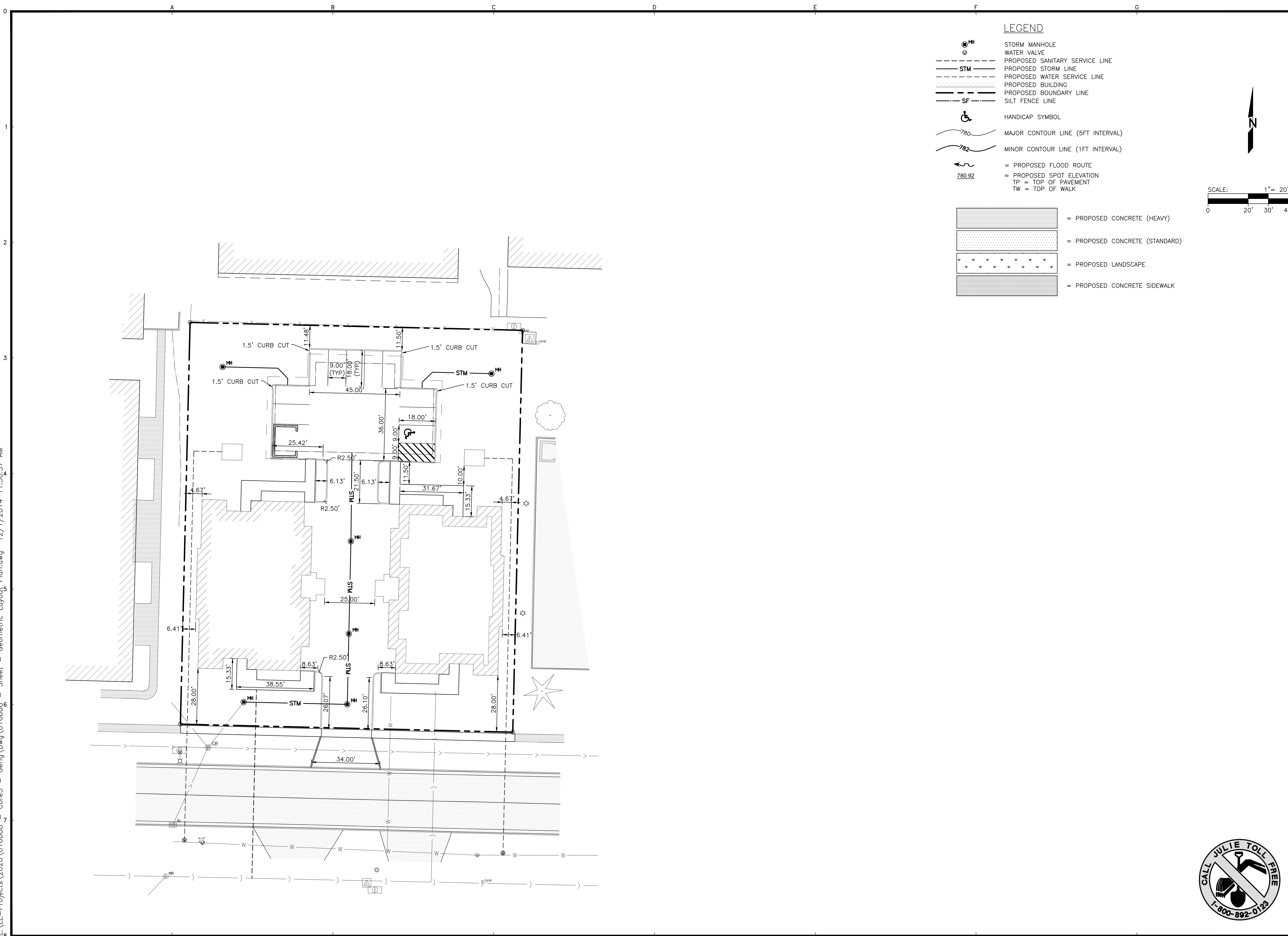
PROJECT: GERIG DRIVE APARTMENTS
 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
 SITE DEVELOPMENT PLAN

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-927-4332 Fax: 309-927-4394
 Design Firm No. 184-004922 Expires: 4/30/2021

PROJECT NO. 016888
 PLAN SET DATE
 SHEET NUMBER C201



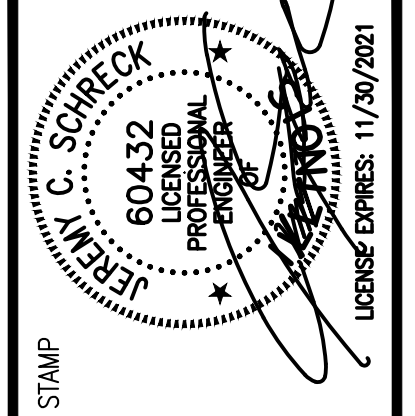
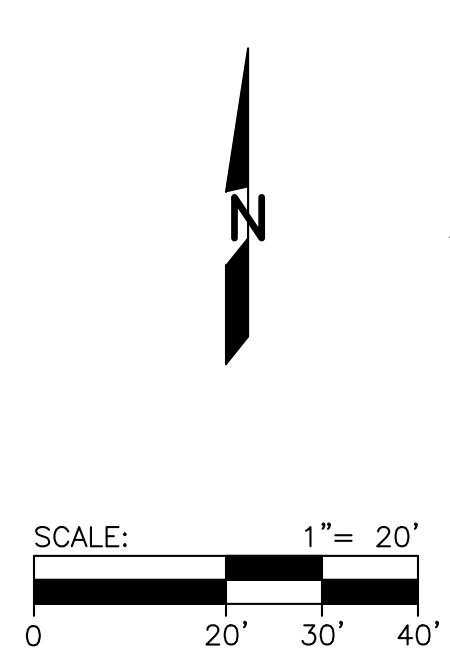
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LEGEND

- STORM MANHOLE
 WATER VALVE
 PROPOSED SANITARY SERVICE LINE
 PROPOSED STORM LINE
 PROPOSED WATER SERVICE LINE
 PROPOSED BUILDING
 PROPOSED BOUNDARY LINE
 SILT FENCE LINE
 HANDICAP SYMBOL
 MAJOR CONTOUR LINE (5FT INTERVAL)
 MINOR CONTOUR LINE (1FT INTERVAL)
 = PROPOSED FLOOD ROUTE
 = PROPOSED SPOT ELEVATION
 TP = TOP OF PAVEMENT
 TW = TOP OF WALK

- = PROPOSED CONCRETE (HEAVY)
 = PROPOSED CONCRETE (STANDARD)
 = PROPOSED LANDSCAPE
 = PROPOSED CONCRETE SIDEWALK



REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SCALE 1" = 20'

SCALE	DRAWN BY	CHECKED BY
1" = 20'	LCH	JCS
	DATE 4/29/20	DATE 4/29/20

PROJECT
 GERIG DRIVE APARTMENTS
 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
 GEOMETRIC LAYOUT PLAN

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4335 Fax: 309-827-4394
 Design Firm No. 184-004522 Expires: 4/30/2021

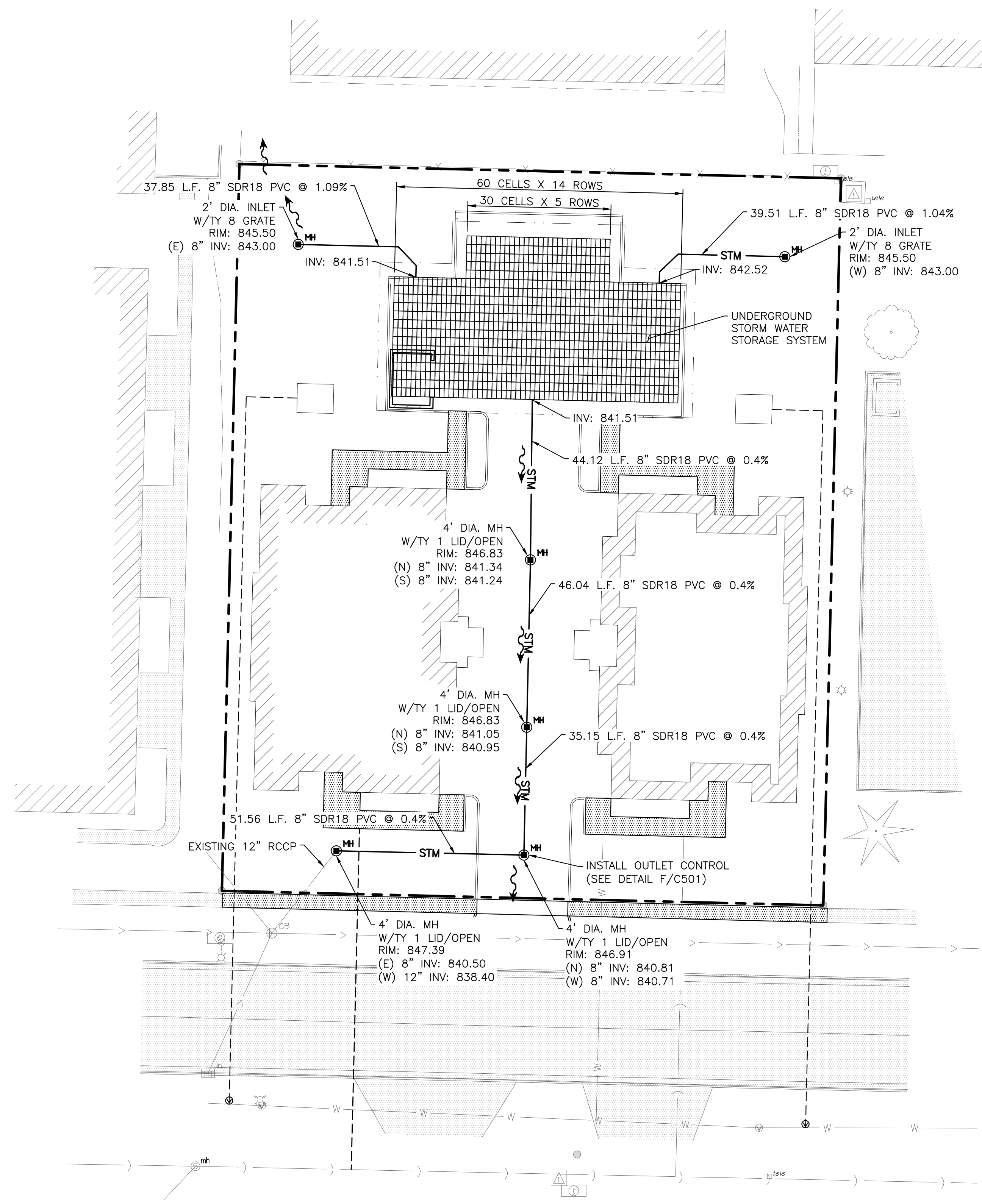
PROJECT NO. 016888

PLAN SET DATE

SHEET NUMBER C202

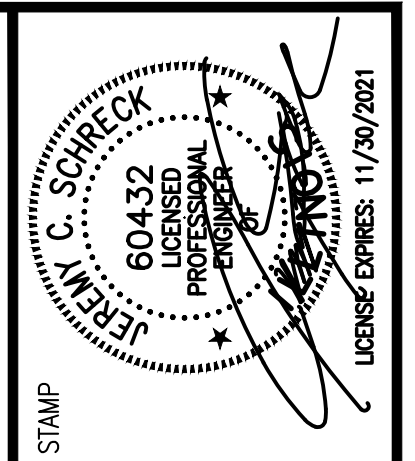
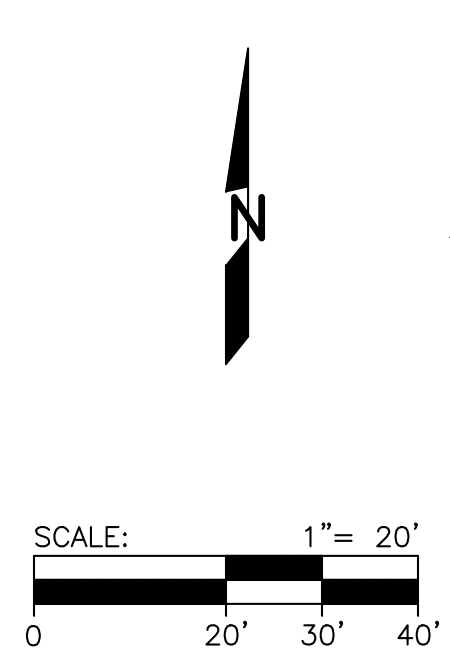


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- LEGEND**
- ⊙ MH STORM MANHOLE
 - ⊙ WATER VALVE
 - PROPOSED SANITARY SERVICE LINE
 - STM PROPOSED STORM LINE
 - PROPOSED WATER SERVICE LINE
 - PROPOSED BUILDING
 - PROPOSED BOUNDARY LINE
 - SF SILT FENCE LINE
 - ♿ HANDICAP SYMBOL
 - 780 MAJOR CONTOUR LINE (5FT INTERVAL)
 - 782 MINOR CONTOUR LINE (1FT INTERVAL)
 - 780.92 = PROPOSED FLOOD ROUTE
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 - TP = TOP OF PAVEMENT
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- [Pattern] = PROPOSED CONCRETE (HEAVY)
- [Pattern] = PROPOSED CONCRETE (STANDARD)
- [Pattern] = PROPOSED LANDSCAPE
- [Pattern] = PROPOSED CONCRETE SIDEWALK



REVISIONS

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DATE	4/29/20

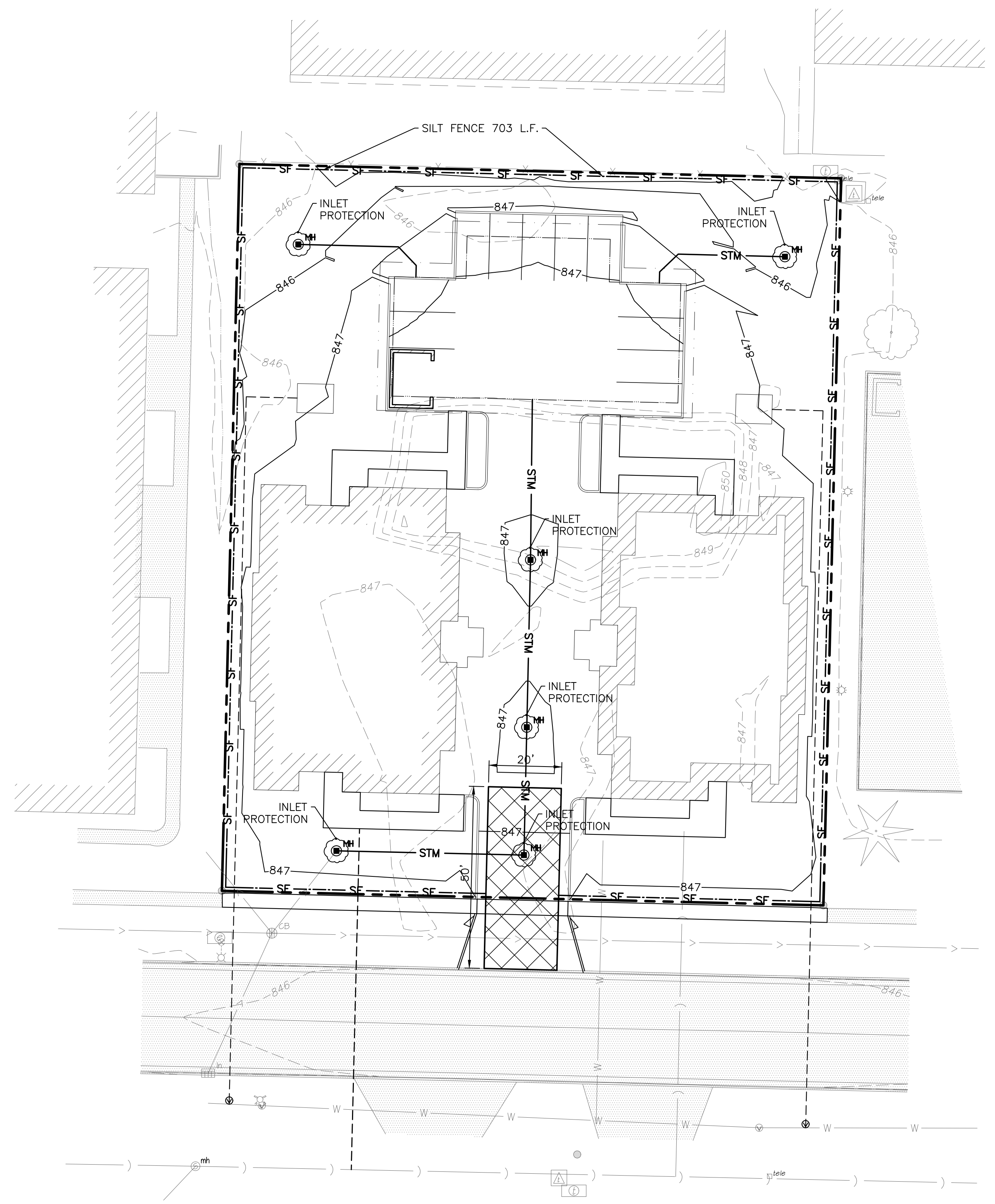
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 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
 STORM SEWER MANAGEMENT PLAN

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4335 Fax: 309-827-4394
 Design Firm No. 184-004822 Expires: 4/30/2021

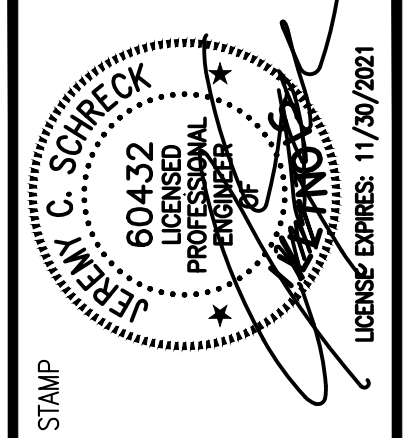
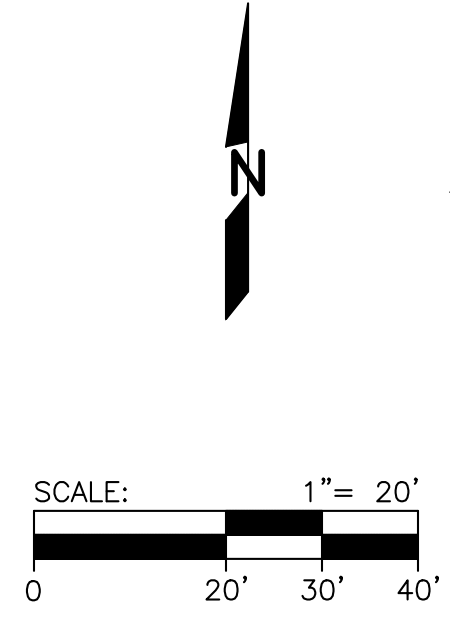
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 PLAN SET DATE
 SHEET NUMBER C302



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- LEGEND**
- STORM MANHOLE
 - WATER VALVE
 - PROPOSED SANITARY SERVICE LINE
 - PROPOSED STORM LINE
 - PROPOSED WATER SERVICE LINE
 - PROPOSED BUILDING
 - PROPOSED BOUNDARY LINE
 - SILT FENCE LINE
 - HANDICAP SYMBOL
 - MAJOR CONTOUR LINE (5FT INTERVAL)
 - MINOR CONTOUR LINE (1FT INTERVAL)
 - = PROPOSED FLOOD ROUTE
 - = PROPOSED SPOT ELEVATION
TP = TOP OF PAVEMENT
TW = TOP OF WALK
 - = PROPOSED CONSTRUCTION ENTRANCE



REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SCALE: 1" = 20'

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DATE	4/29/20
CHECKED BY	JCS
DATE	4/29/20

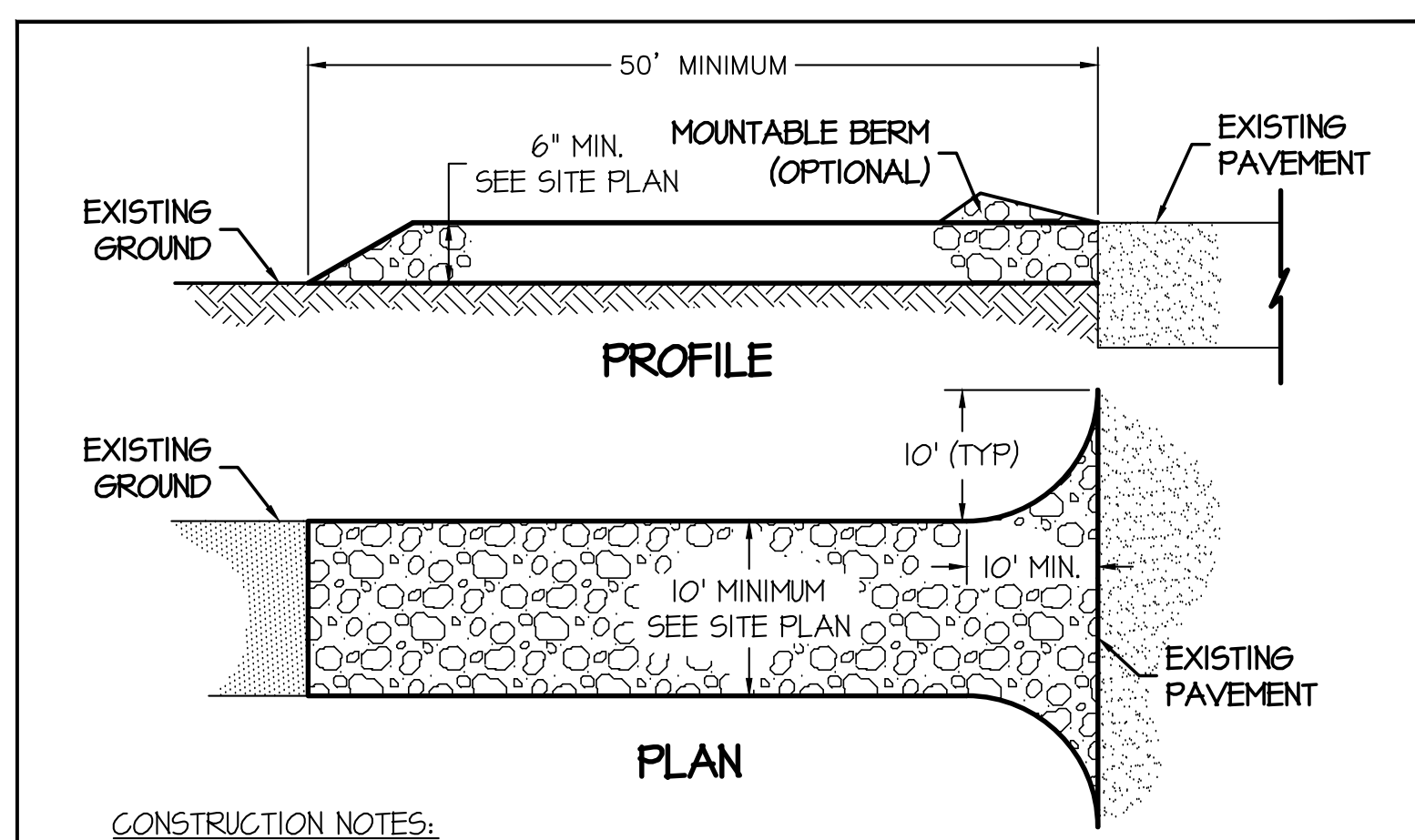
PROJECT: GERIG DRIVE APARTMENTS
 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
 EROSION CONTROL PLAN

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4335 Fax: 309-827-4394
 Design Firm No. 184-004622 Expires: 4/30/2021

PROJECT NO. 016888
 PLAN SET DATE
 SHEET NUMBER C401

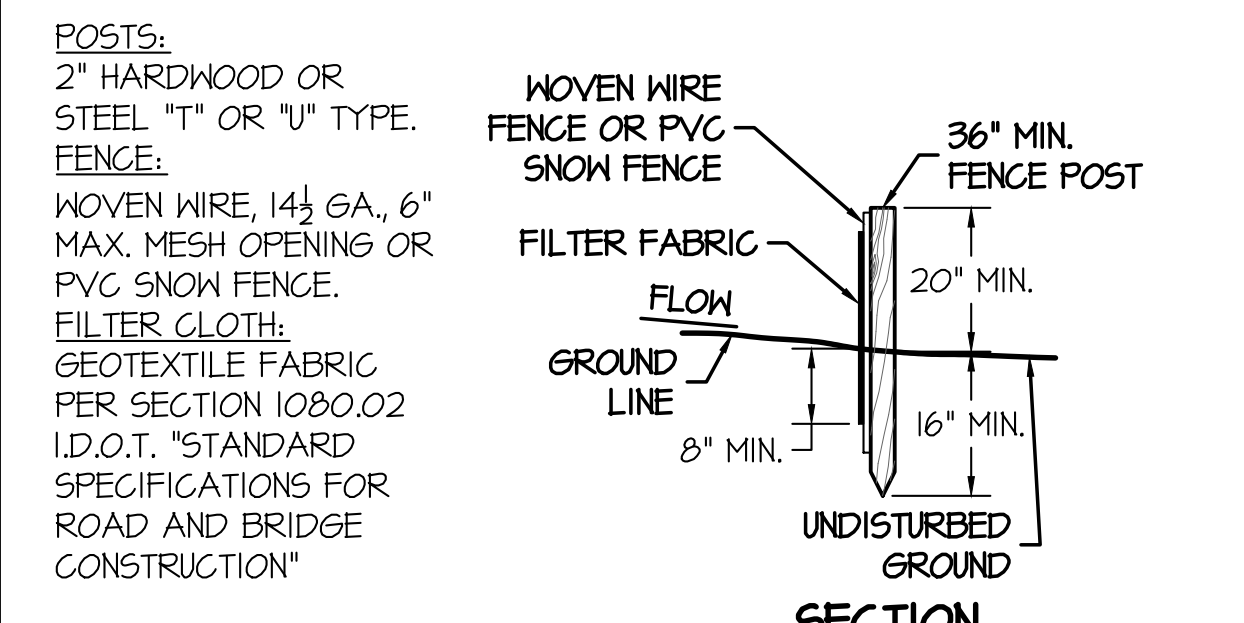
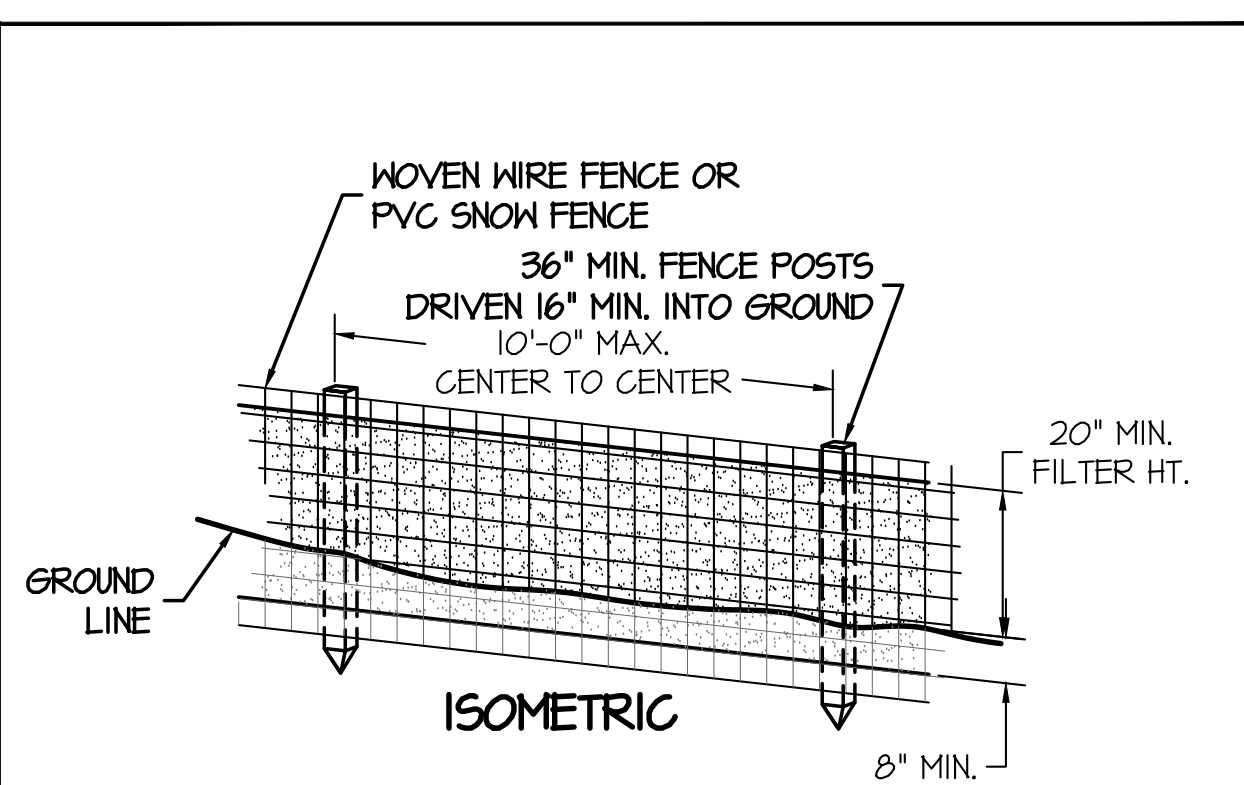


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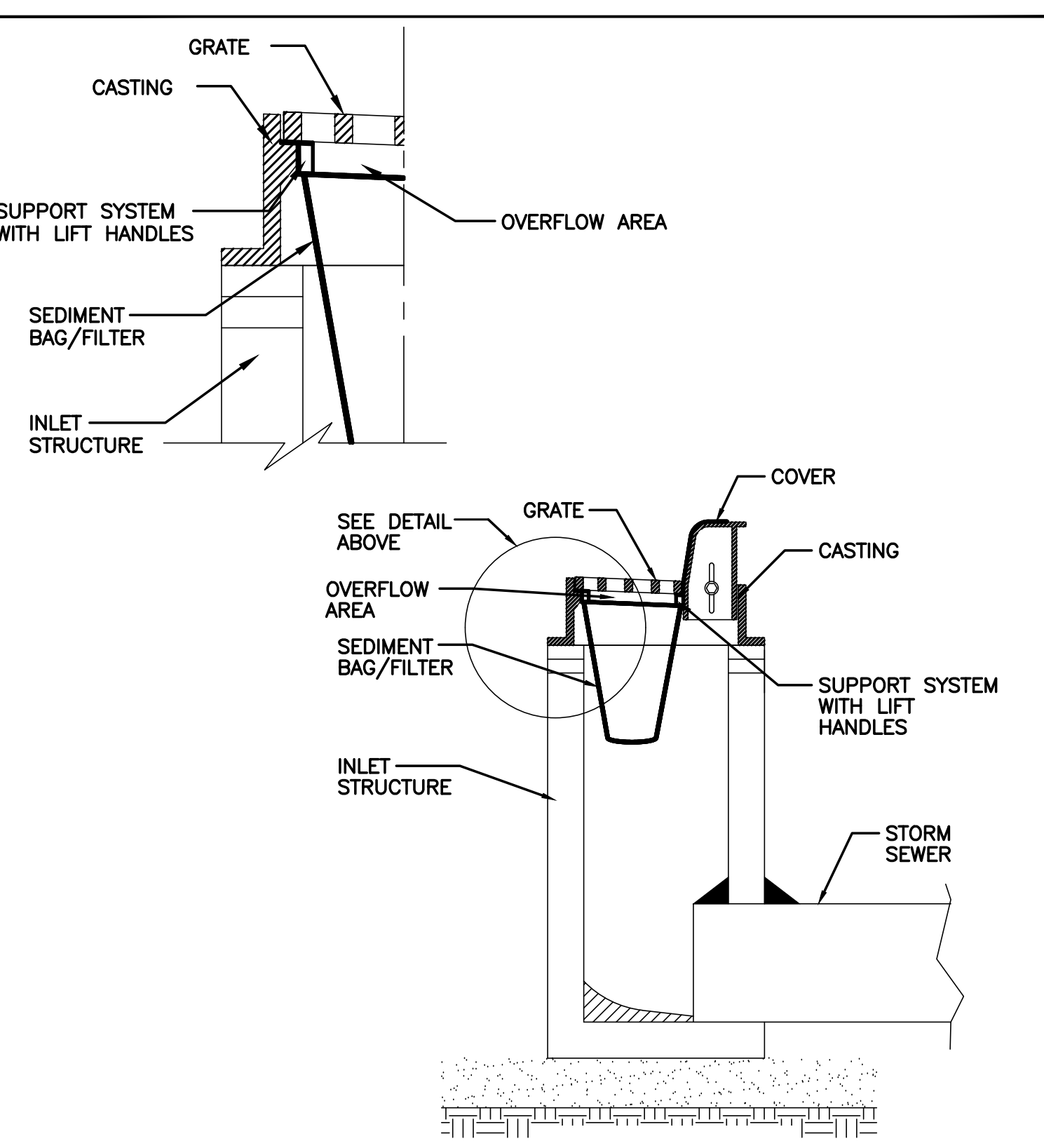
- CONSTRUCTION NOTES:**
- STONE SIZE - 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - SEE SITE PLAN FOR WIDTH. 10' MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - MIRAFI 600X OR EQUIVALENT WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EROSION CONTROL - STABILIZED CONSTRUCTION ENTRANCE A
SCALE: NO SCALE C402



- CONSTRUCTION NOTES:**
- WOVEN WIRE OR PVC FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - FILTER FABRIC/CLOTH SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED WHEN SECTIONS ADJOIN EACH OTHER.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
 - WHEN THE SILT FENCE CROSSES PAVED AREAS, UTILIZE SAND BAGS TO HOLD FILTER FABRIC TIGHTLY AGAINST PAVED SURFACE.

EROSION CONTROL - SILT FENCE B
SCALE: NO SCALE C402

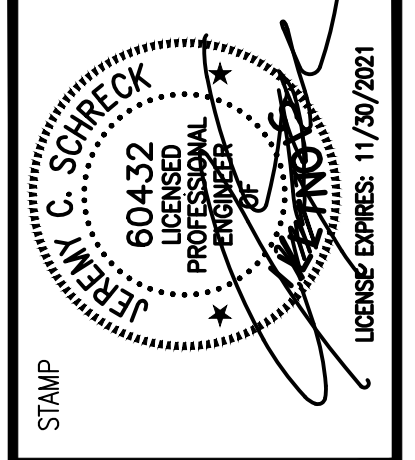


STANDARD DWG. NO. IUM-561D
SHEET 1 OF 1
DATE 01-11-11

INLET PROTECTION - PAVED AREAS - DROP-IN PROTECTION C
SCALE: NO SCALE C402

EROSION & SEDIMENT CONTROL NOTES:

- GENERAL NOTES:**
 - Copies of the following Erosion Control Plan shall be kept on-site at all times. Any changes made to the plan must be noted, dated and installed by the contractor.
 - Other local, state or federal statutes or requirements which may affect the permit requirements for the project site:
 - NPDES construction storm water management discharge requirements.
 - United States Army Corps of Engineers.
 - Local sediment control ordinances. - Town of Normal Erosion Control Permit
 - Hazardous waste concerns.
 - Protected species or historical preservation requirements.
 - Phasing of construction:
 - Call J.U.L.I.E. before construction begins.
 - Notify sediment and erosion control inspector 24 hours prior to beginning construction.
 - Install any storm drainage protection.
 - Clear and stabilize construction access to the site.
 - Perform any clearing and grading requirements for the installation of perimeter control measures.
 - Install all perimeter control measures and then notify sediment and erosion control inspector to obtain approval before proceeding.
 - Complete all necessary stockpiling, clearing and grading.
 - Apply temporary or permanent stabilization measures immediately on all areas in which work may be delayed or is complete. Large areas shall not remain unprotected for more than seven (7) days.
 - Install site utilities, construct building foundation and paved surfaces.
 - Complete final grading, stabilization and landscaping. When final landscaping and seeding maintains 70% coverage, notify sediment and erosion control inspector to obtain approval to remove sediment and erosion control measures.
- TOPSOIL STRIPPING AND STOCKPILING**
 - After all debris has been removed, topsoil shall be stripped and stockpiled in a predetermined area which does not interfere with existing or proposed drainage patterns.
 - Construct stabilized construction entrance(s) to minimize the deposition of sediment on adjacent roadways.
 - Silt fences or diversions directing runoff to temporary sediment basins shall be placed on the downhill side of areas disturbed by grading activities, to minimize silt from leaving the site.
 - All construction debris shall be kept away from ditches and streams to prevent runoff accumulation transporting debris downstream.
 - Silt fences shall be installed along the low side of the site where runoff from the construction activities would accumulate and leave the site or enter a ditch.
 - Silt traps or sediment basins shall be installed where shown on the plans or required by construction activities in accordance with the details shown on the plans to detain and filter runoff prior to discharge from the site.
 - Additional silt fencing should be installed around the stockpile to minimize silt transport off-site.
- GRADING OPERATIONS**
 - This is the critical time when sediment and erosion control measures must be consistently checked to ensure effectiveness. Measures should be repaired or replaced as often as necessary to meet the demands of the current site conditions.
 - Maintain previously installed sediment and erosion control measures as needed.
 - When a silt control measure is removed due to changing site conditions, it shall be immediately replaced with another measure of equal or greater effectiveness of sediment or erosion control.
 - Cut slopes shall be protected by the construction of swales at the top of the slopes to intercept runoff. Swales shall be protected with either straw bales, silt fences, etc. to minimize erosion and siltation.
 - Fill slopes shall be protected by the construction of berms at the top to prevent uncontrolled runoff draining down the face of the slope. Silt fences shall be placed at the toe of all fill slopes.
 - Final cut and fill slopes shall be covered with six (6") inches of topsoil, temporary seeded and mulched as soon as grading operations are complete.
 - Portions of the site which are graded to finished grade shall be covered with six (6") inches of topsoil, seeded and mulched as soon as grading is complete.
 - Storm sewer should be constructed as soon as possible in the construction sequence and concurrent to the grading operation whenever possible. Construction runoff should be directed to the storm sewer system as soon as possible.
- STORM SEWER & UTILITY INSTALLATION**
 - Completed after or concurrent with the Grading Operation Phase. Storm sewer should be installed and put into service as early in the construction sequence as possible.
 - Protect storm sewer inlets to prevent sediment from entering pipes.
 - Riprap as shown on the plans shall be installed as required to prevent the migration of sediment by velocity of runoff. Silt fence shall be utilized to prevent the deposition of silt in the riprap until final stabilization has been established.
 - Additional silt fence may be required to prevent erosion and siltation resulting from stockpiled excavation material from utility installation operations.
- FINAL GRADING, PAVED SURFACE INSTALLATION AND LANDSCAPING**
 - All sediment and erosion control measures installed in the previous phase(s) shall be maintained, modified or removed as required.
 - Silt traps around inlets shall be maintained, modified as necessary and removed when applicable.
 - All disturbed areas shall be covered with 6" of topsoil, seeded and mulched as soon as grading is complete.
- INSPECTION AND MAINTENANCE INSTRUCTIONS**
 - Disturbed areas of the construction site and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are functioning properly. Where discharge locations are accessible, they shall be inspected to determine if erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
 - The contractor is required to maintain temporary erosion control measures in proper working order, including cleaning, repairing or replacing them throughout the work. Any necessary repairs shall be initiated within 24 hours of a reported failure or deficiency.
 - Maintain temporary and permanent erosion control measures in good working order by cleaning, repairing, replacement and sediment removal throughout the permit period. Cleaning of silt control devices shall be performed when the features have lost 50% of their capacity.
- COMPLETION**
 - Inspect the site to ensure that ground cover is complete and adequate. All areas should either be paved or have a minimum of 70% ground cover without apparent erosion.
 - When ground cover inspection is made and approved, all temporary structural erosion controls (silt fence, etc.) may be removed along with any accumulated silt and debris. All areas disturbed by the removal of the erosion control measures shall be fine graded, seeded and mulched as required. If problems are uncovered during inspection, perform appropriate repairs and re-inspect prior to removal of erosion controls.
 - All existing and constructed storm sewers shall be inspected upon the removal or erosion and sediment controls. If there is any sediment and/or construction debris, Contractor shall clean structures and pipes.
- MISCELLANEOUS**
 - No fuel or oil shall be stored on-site without proper containment.
 - No oils or gas shall be dumped on-site.
 - A designated concrete wash-out area shall be identified on-site. All affected soil and concrete spoils in this area shall be removed from the site upon completion of concrete placement activities.
 - Any non-storm discharges, including but not limited to fire hydrant flushing, etc. shall be prevented from allowing sediment transport in the storm sewer.
 - Any non-storm discharges that contain hazardous materials shall be prevented from entering the storm sewer system and collected and disposed of in an approved manner.



NO.	DATE	APPR.	DESCRIPTION

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DATE: 4/29/20
CHECKED BY: JCS
DATE: 4/29/20

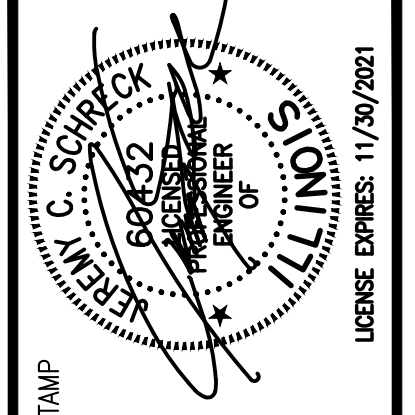
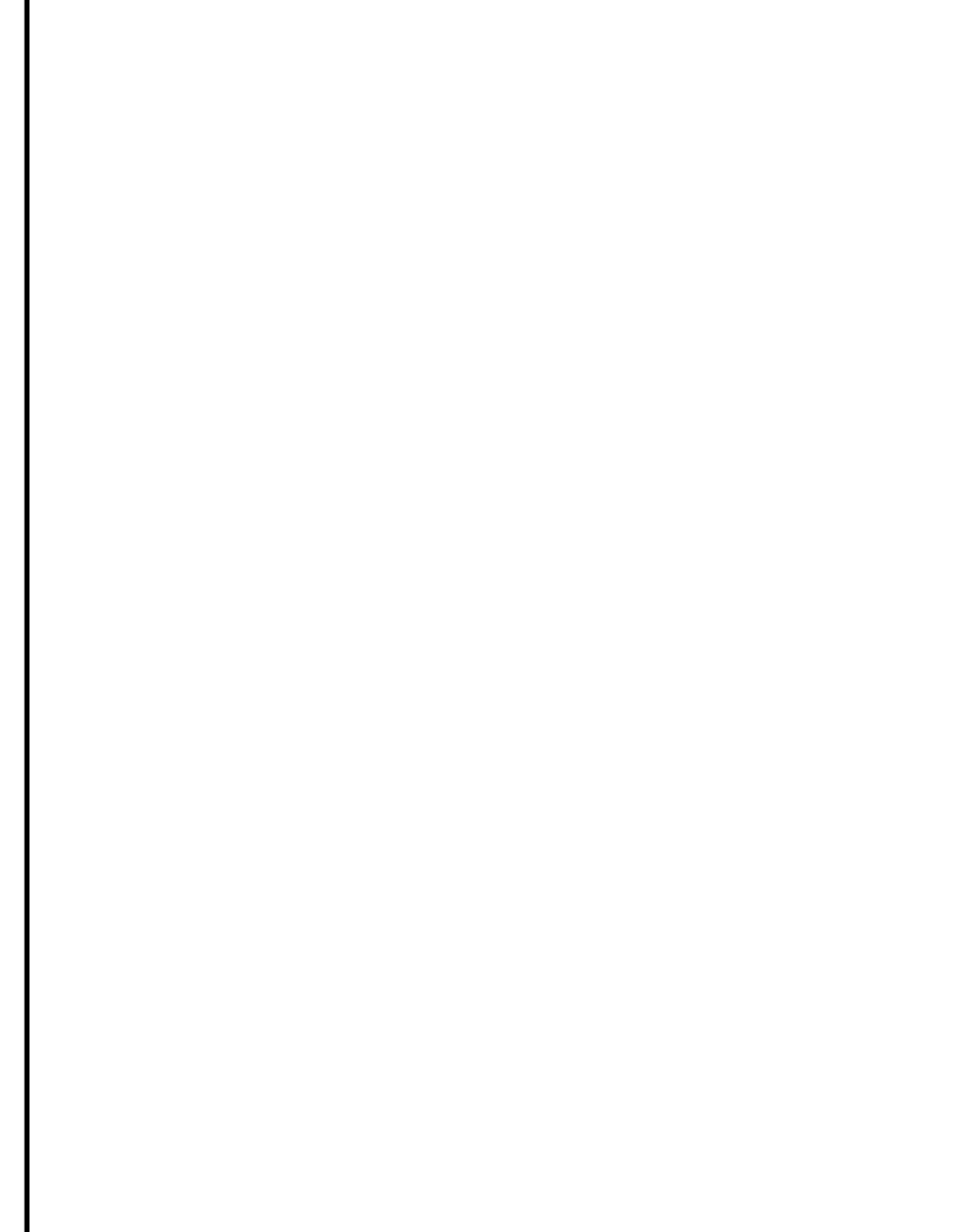
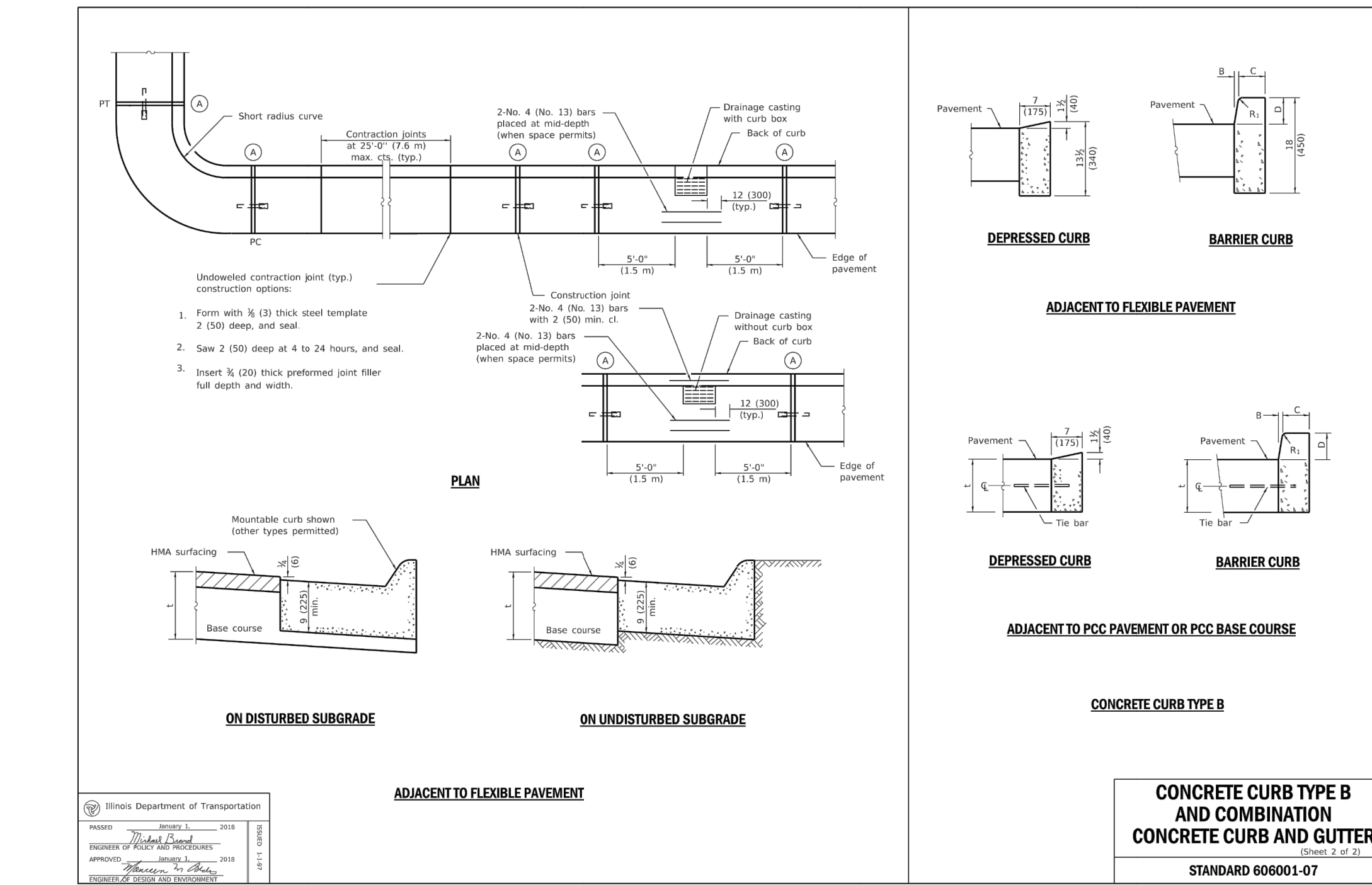
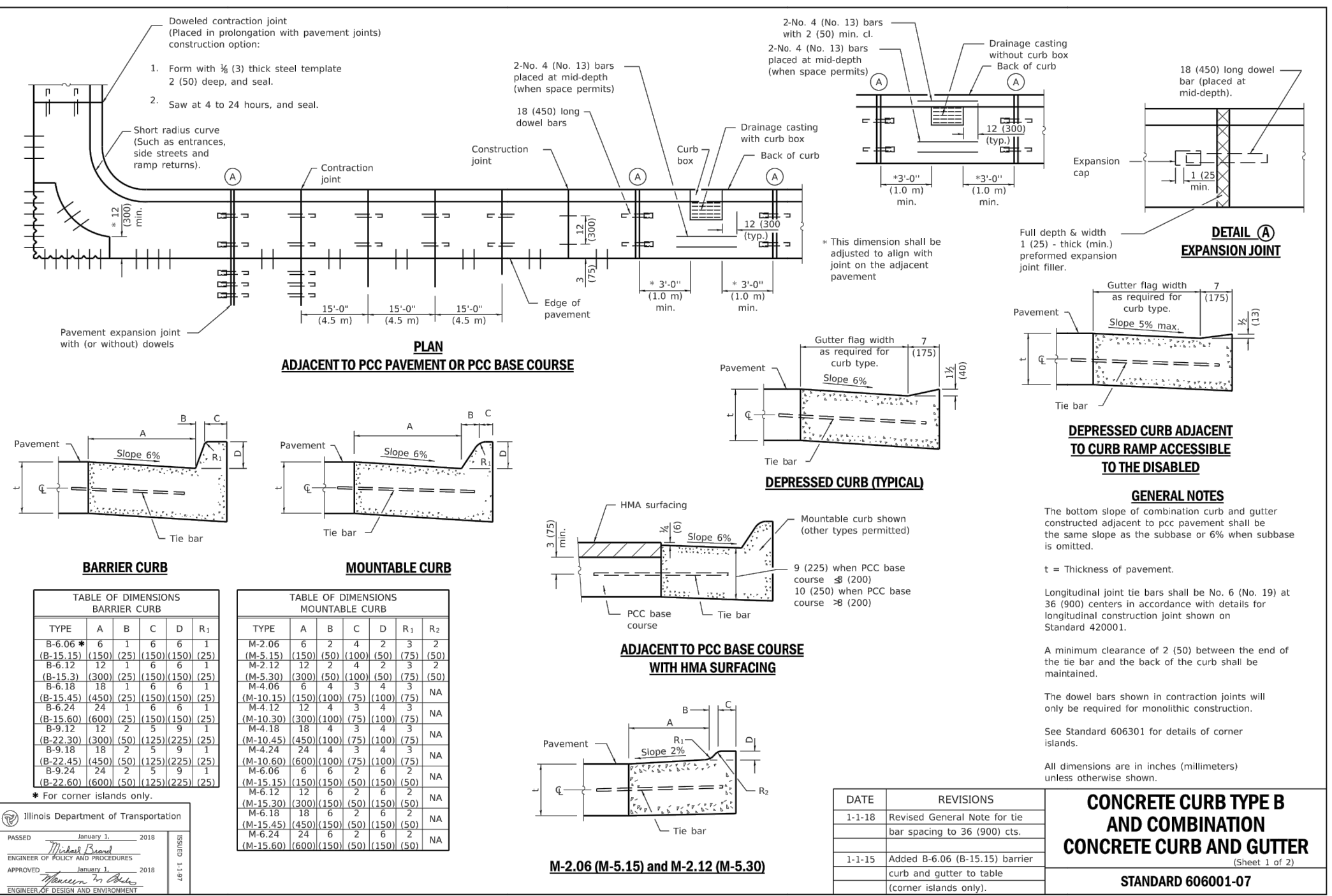
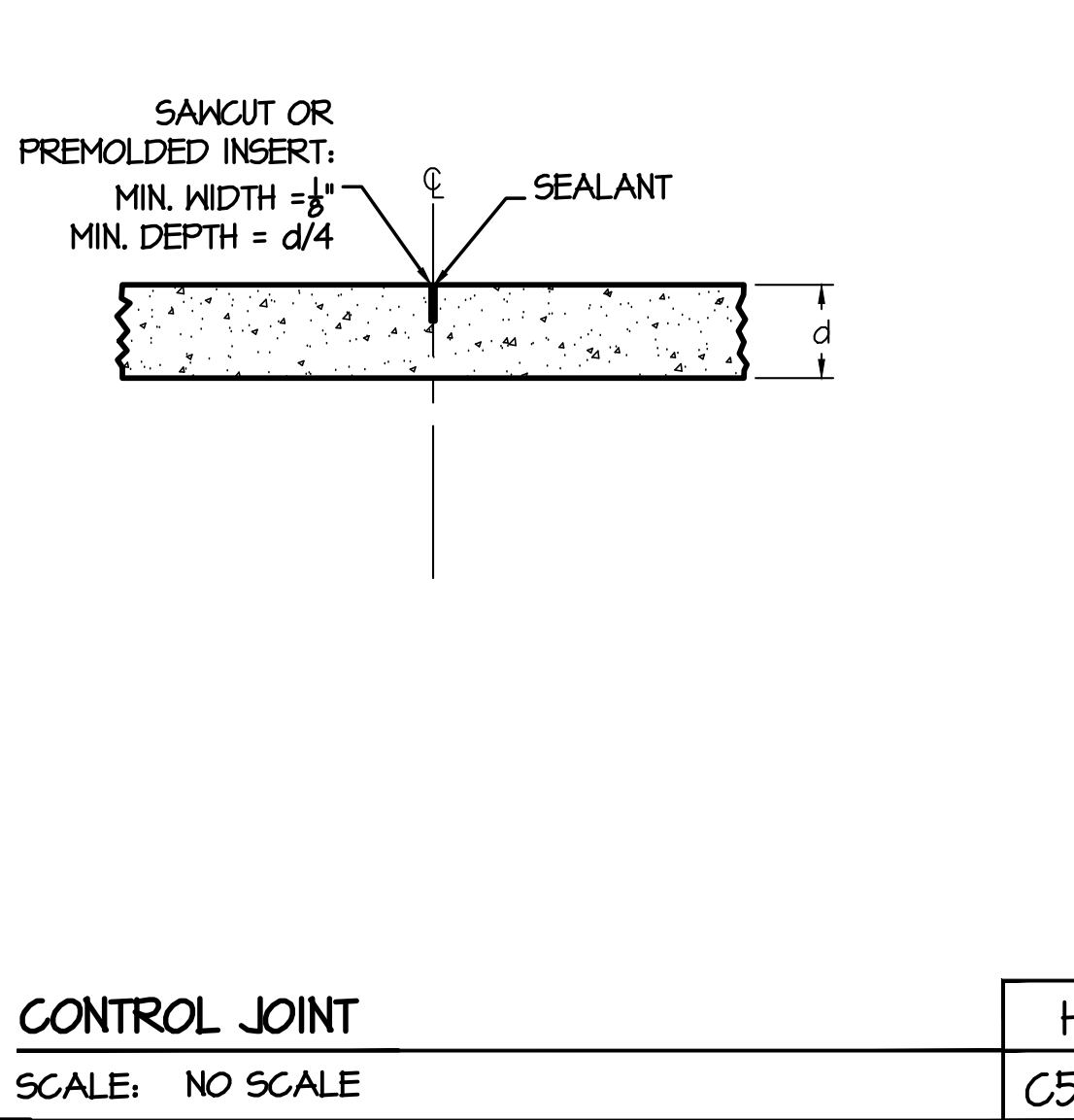
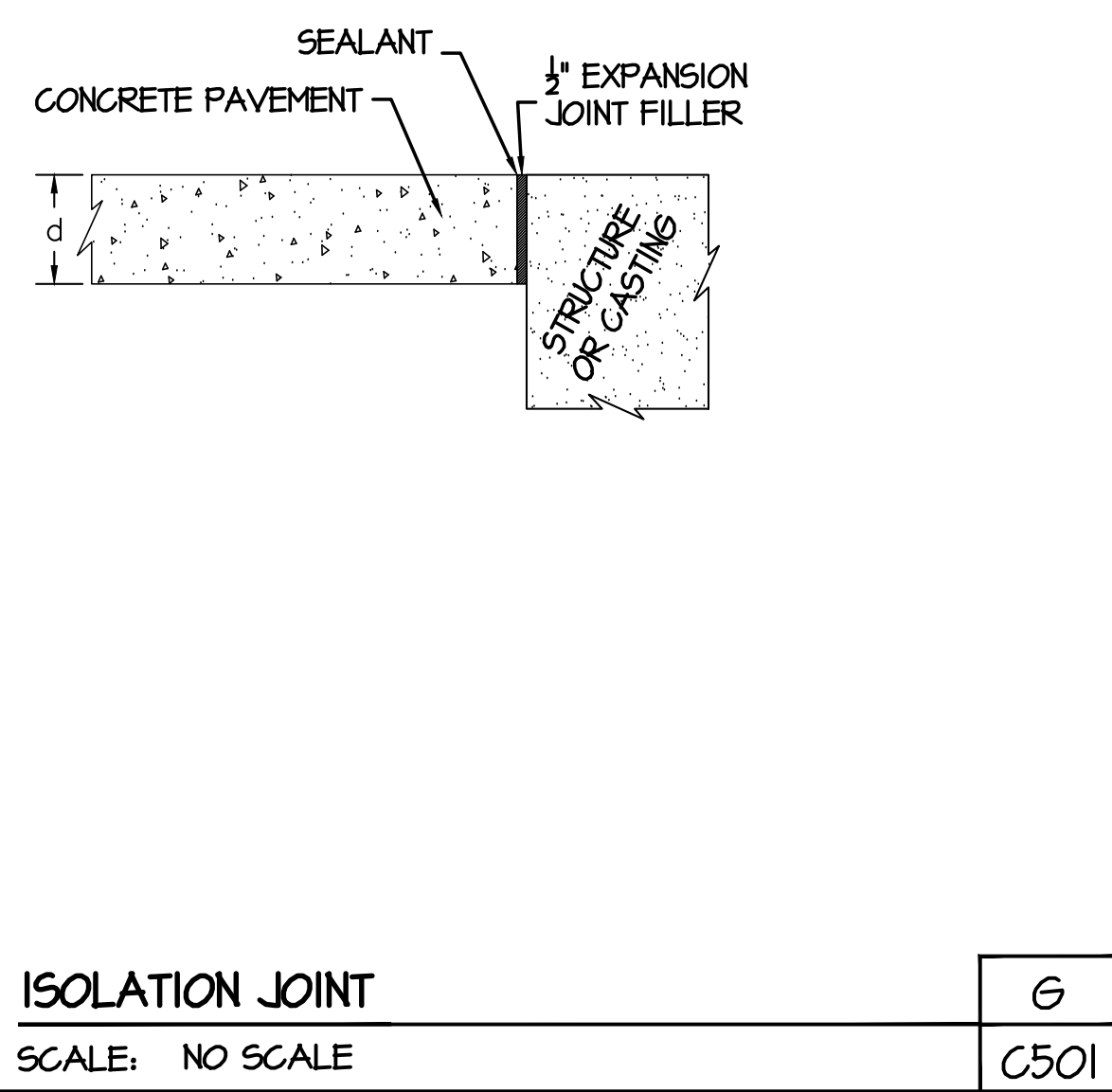
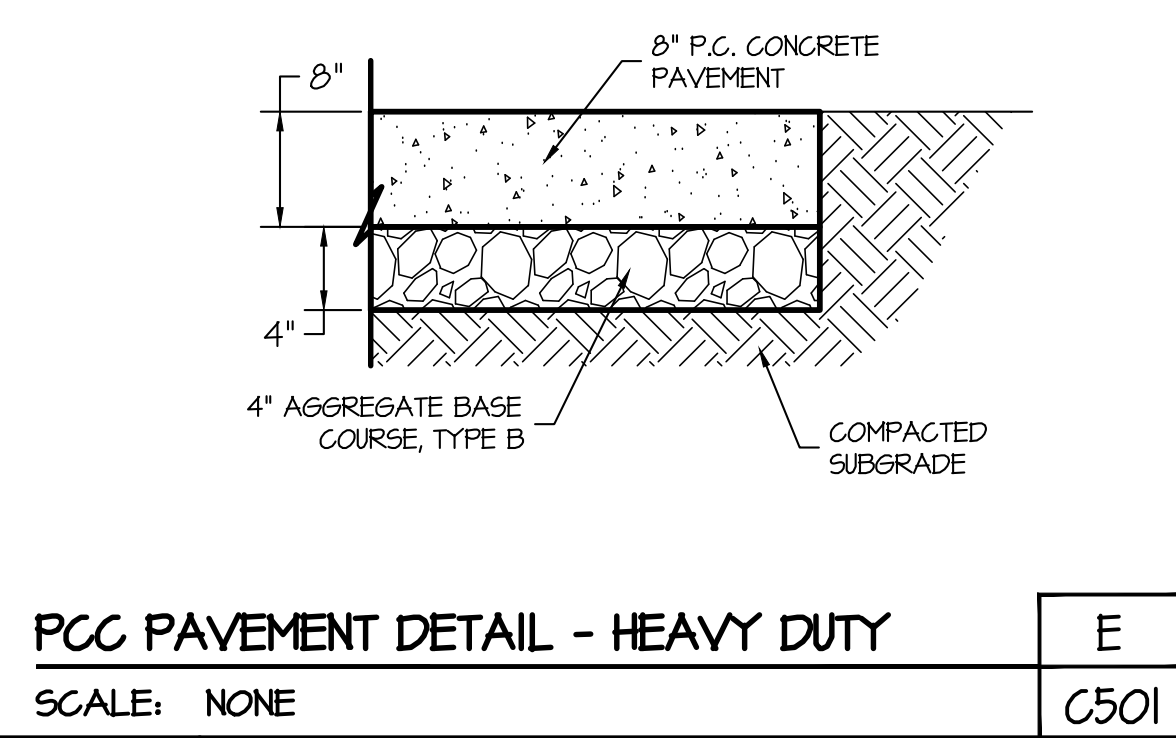
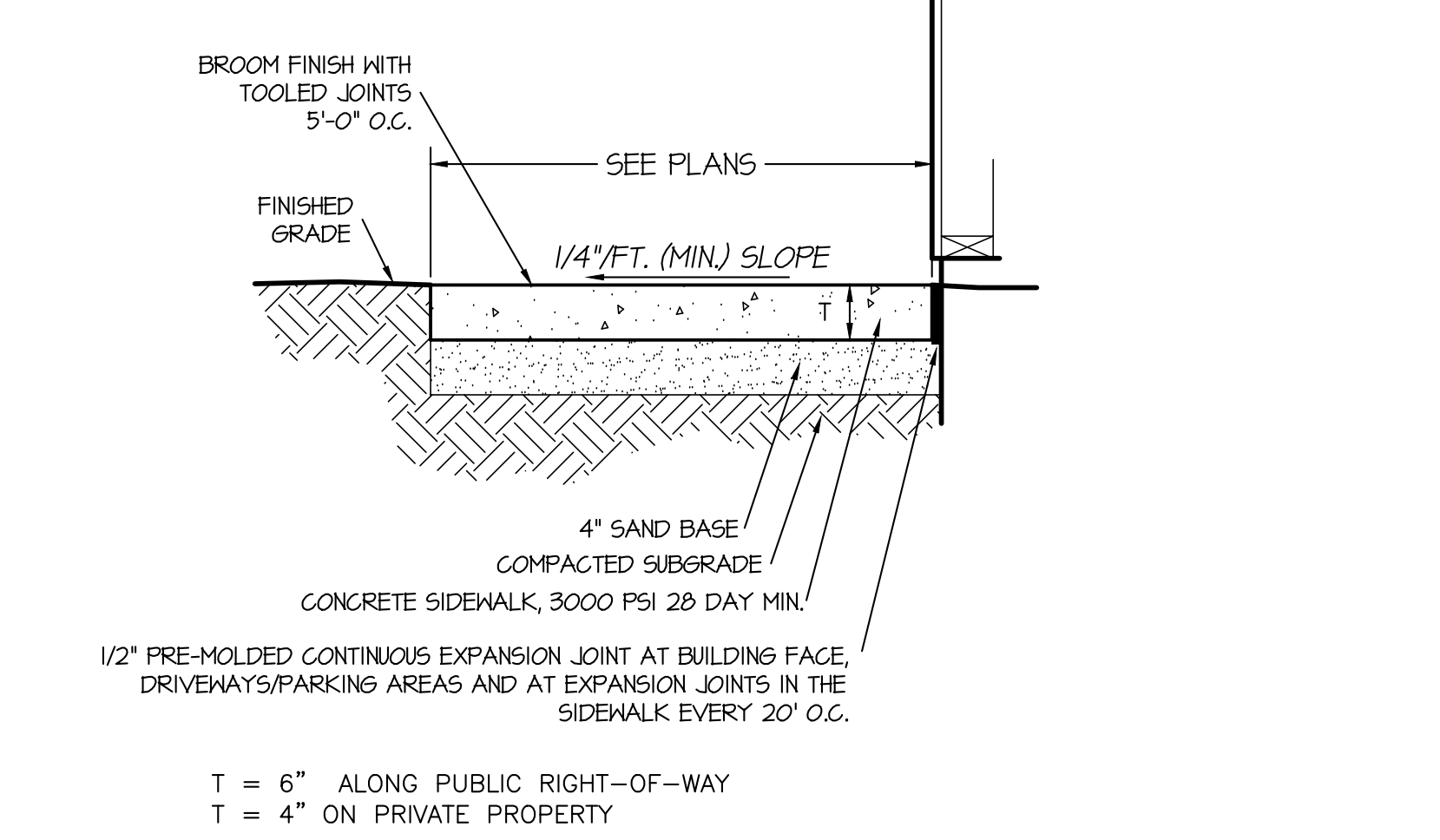
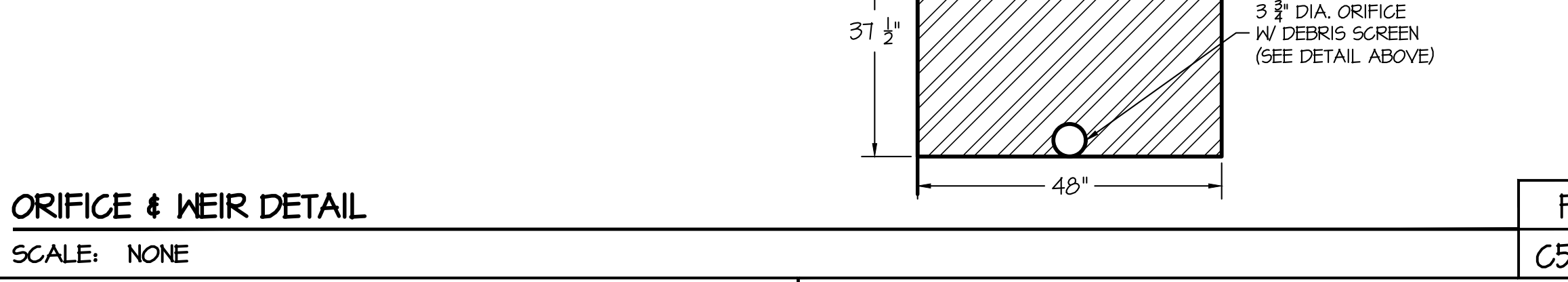
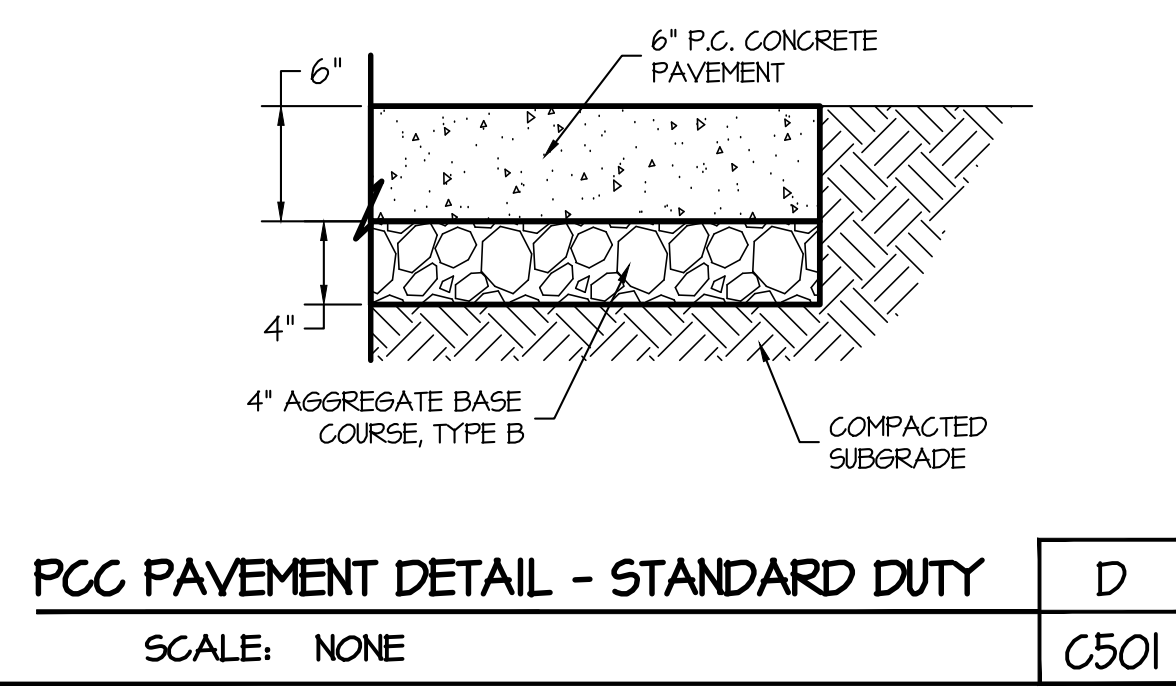
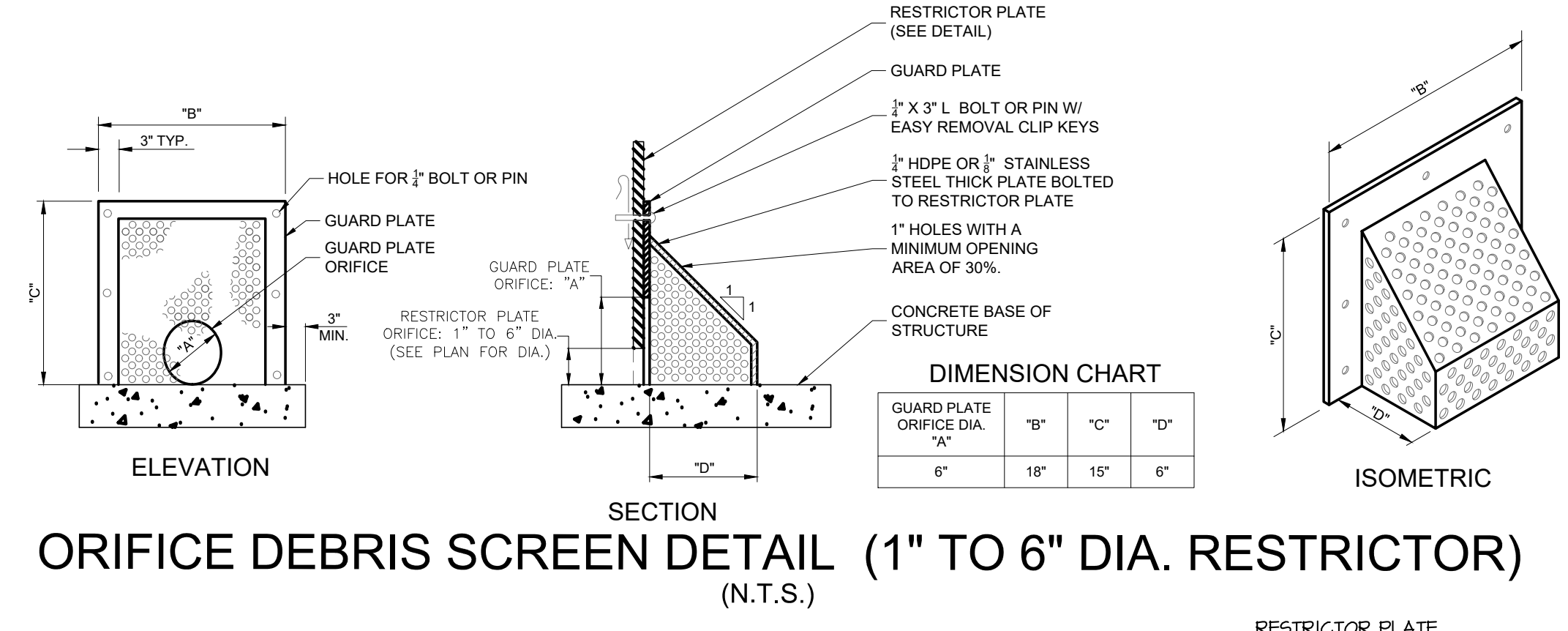
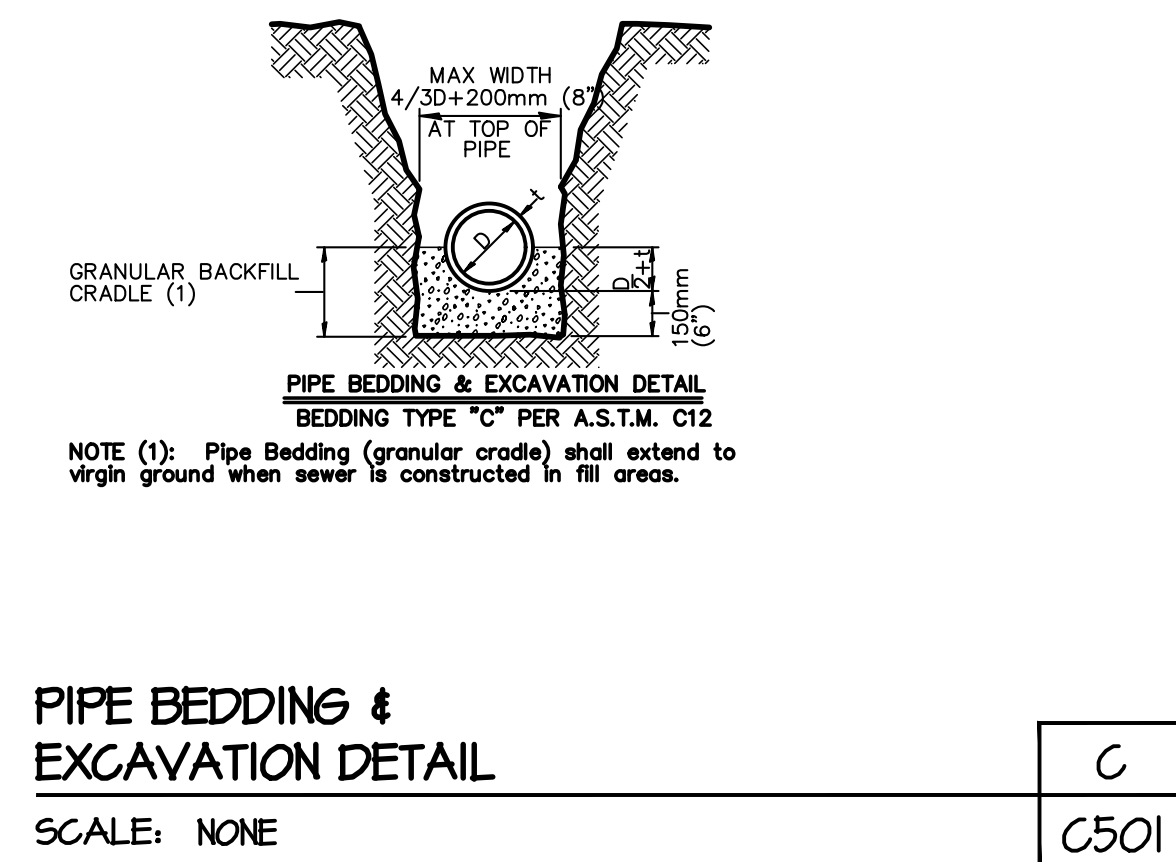
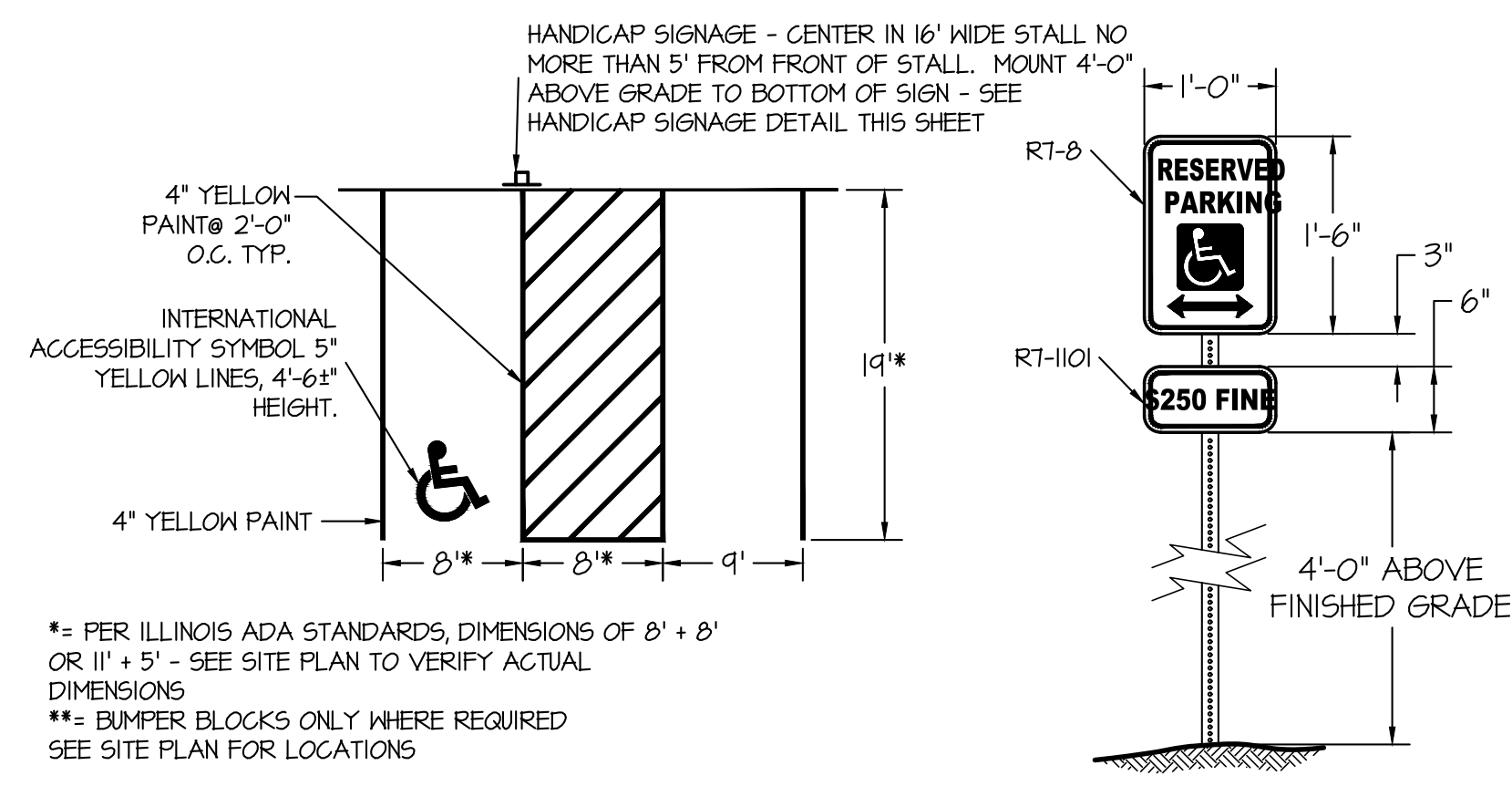
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LOT 132, AIRPORT PARK SUBD., 16TH ADD.
3216 GERIG DRIVE
CITY OF BLOOMINGTON, IL 61704
EROSION CONTROL NOTES

Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-927-4335
Fax: 309-927-4394
Design Firm No. 184-004622 Expires: 4/30/2021

PROJECT NO. 016888
PLAN SET DATE
SHEET NUMBER C402



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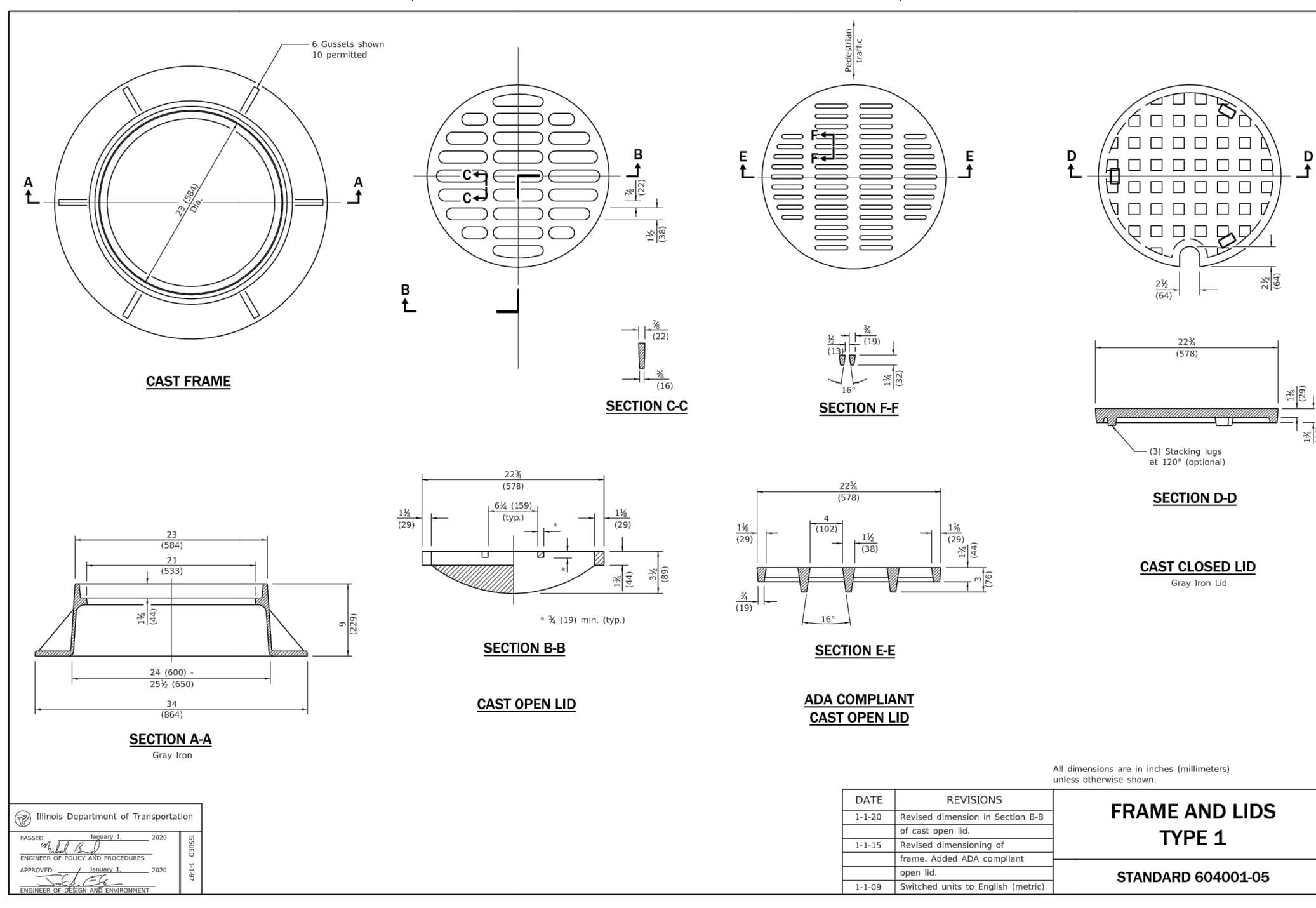
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3216 GERIG DRIVE
CITY OF BLOOMINGTON, IL 61704
General Notes & Details

Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
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Fax: 309-827-4394
Design Firm No. 184-004522 Expires: 4/30/2021

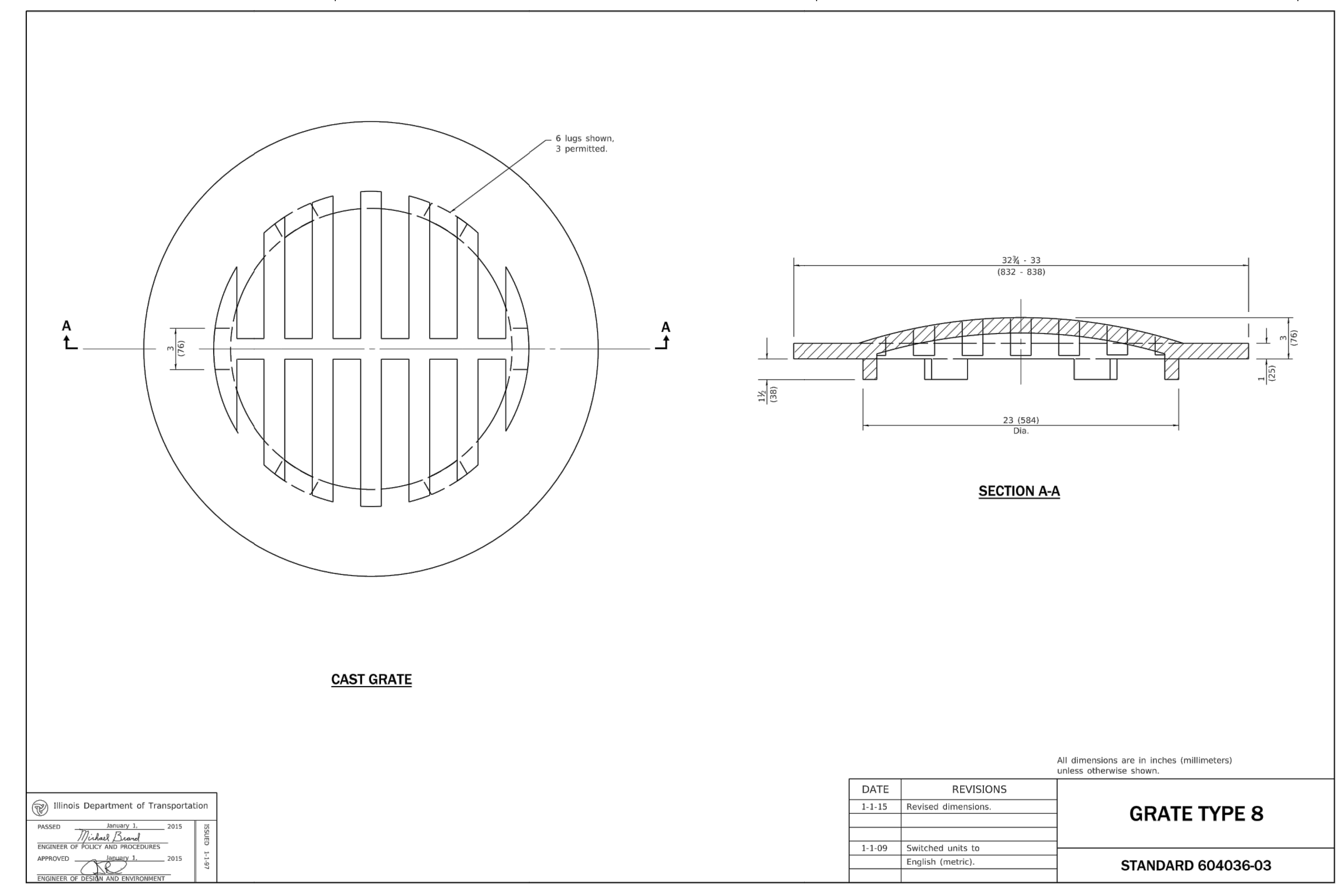
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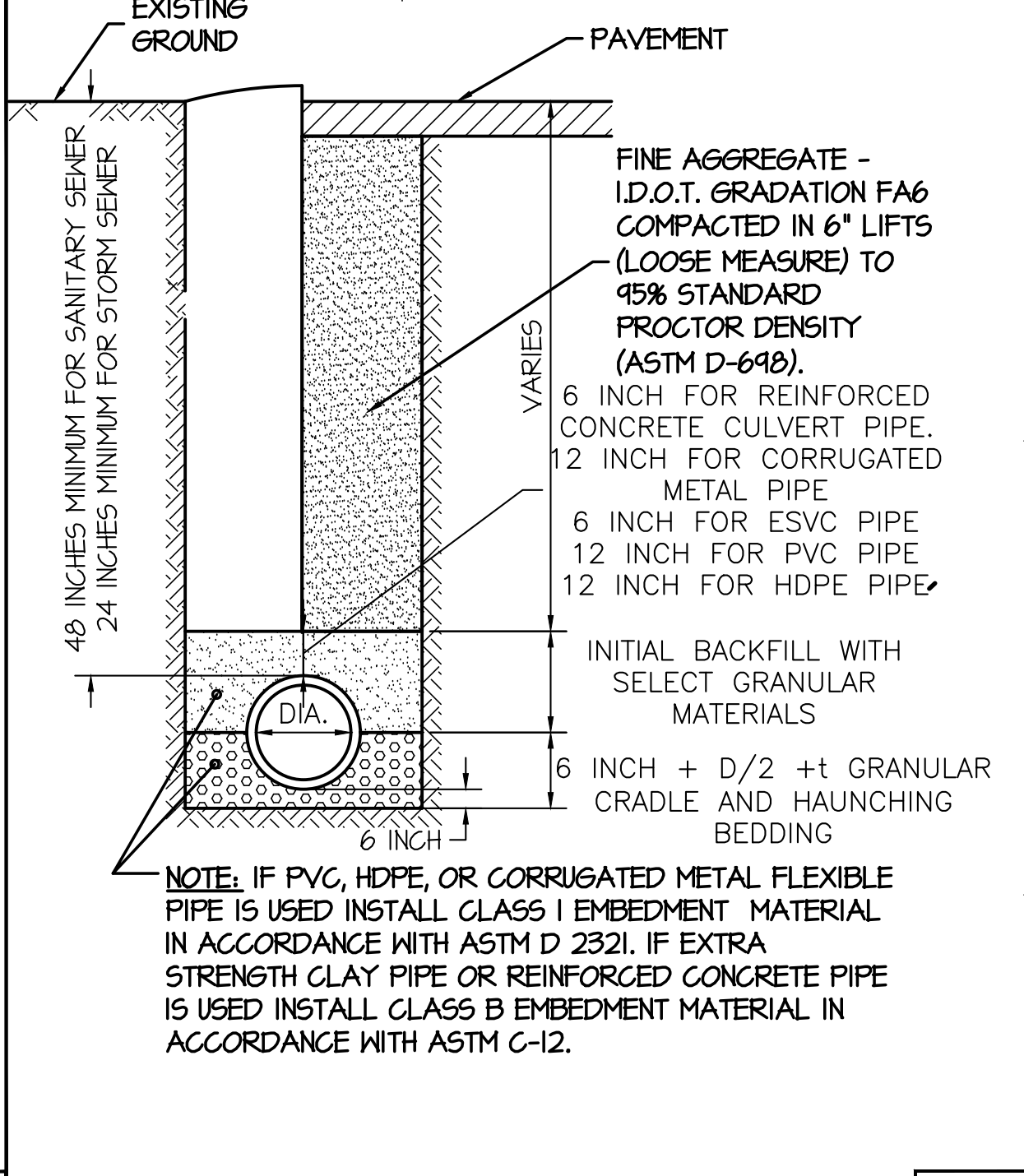
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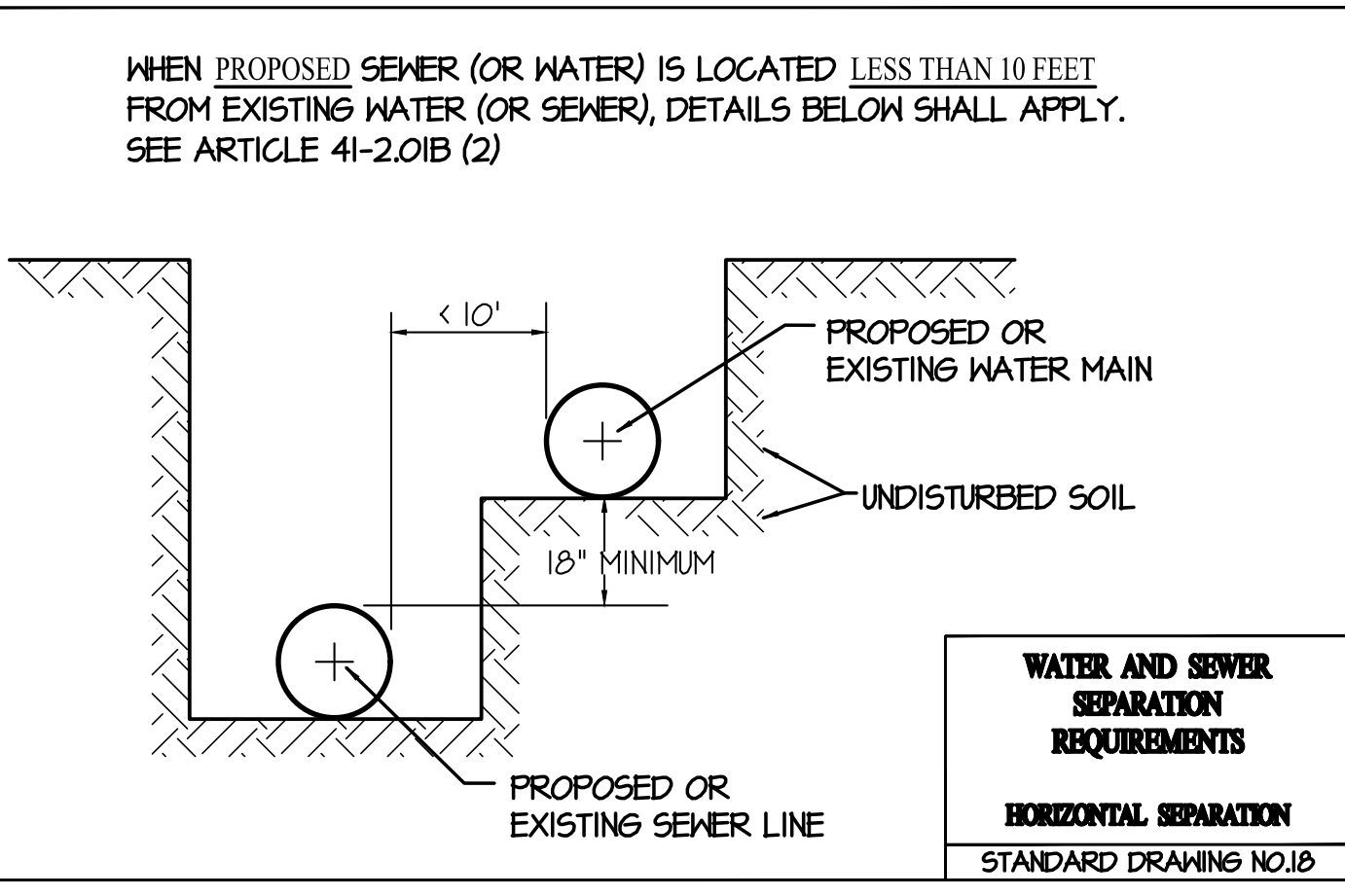
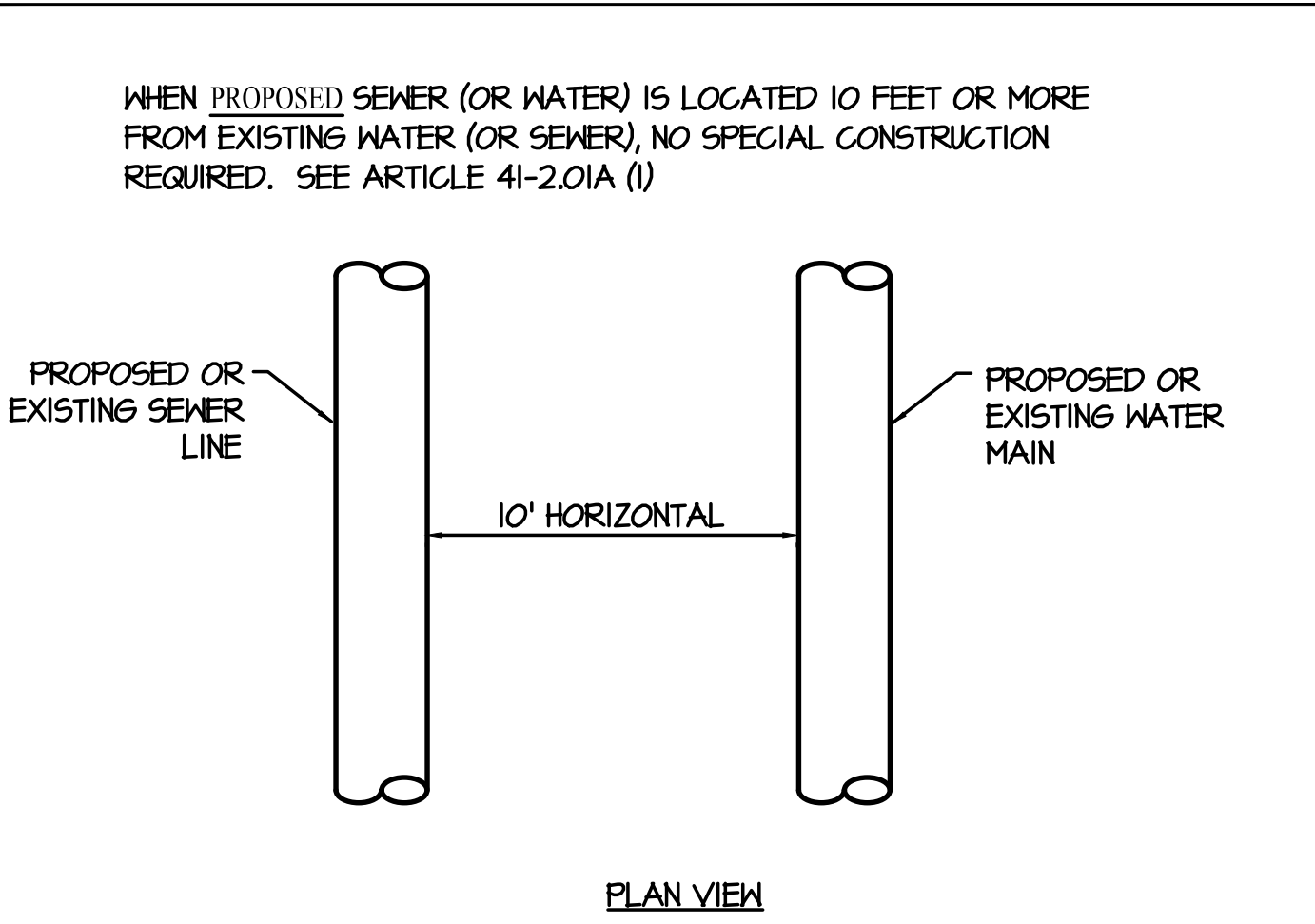
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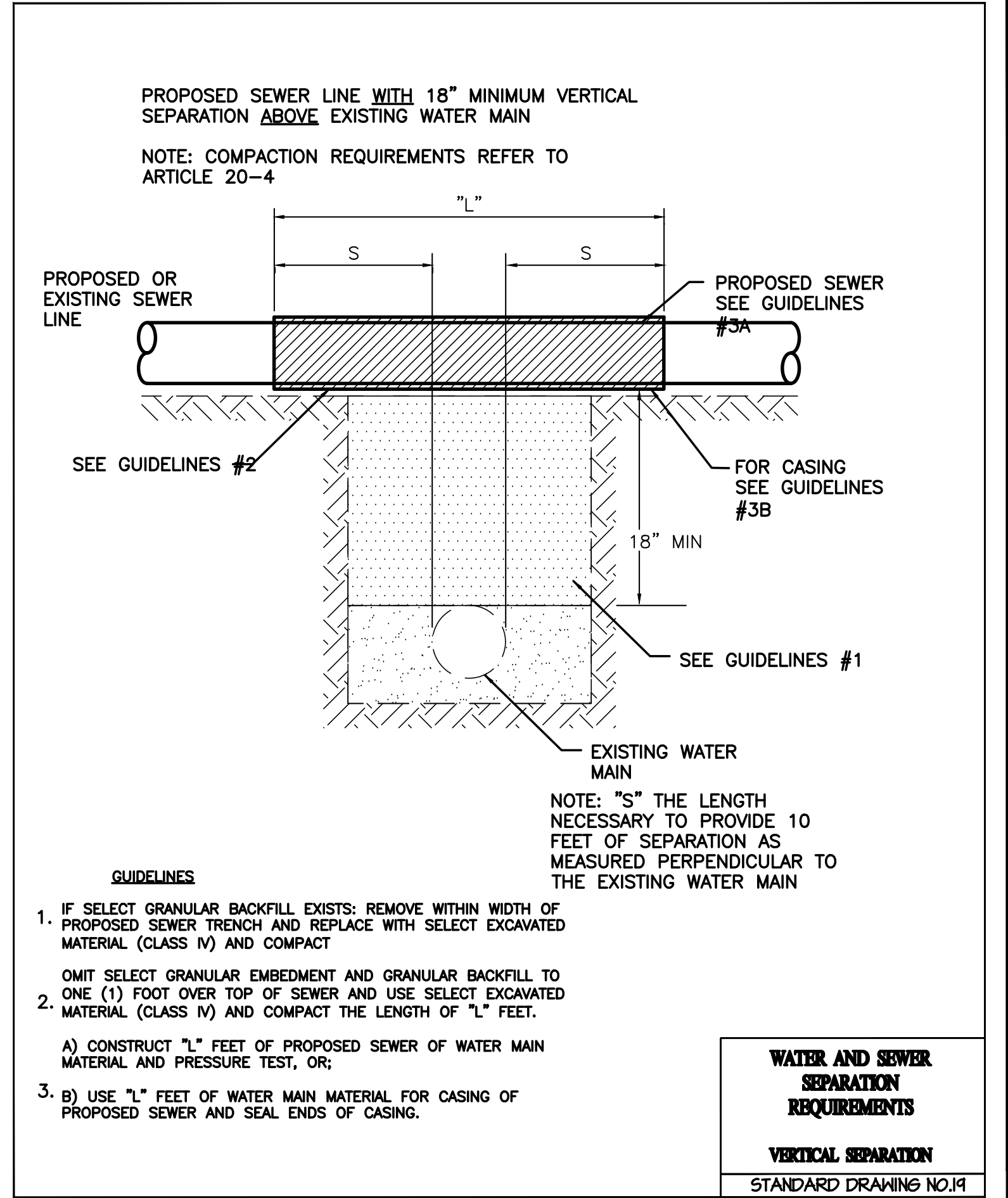
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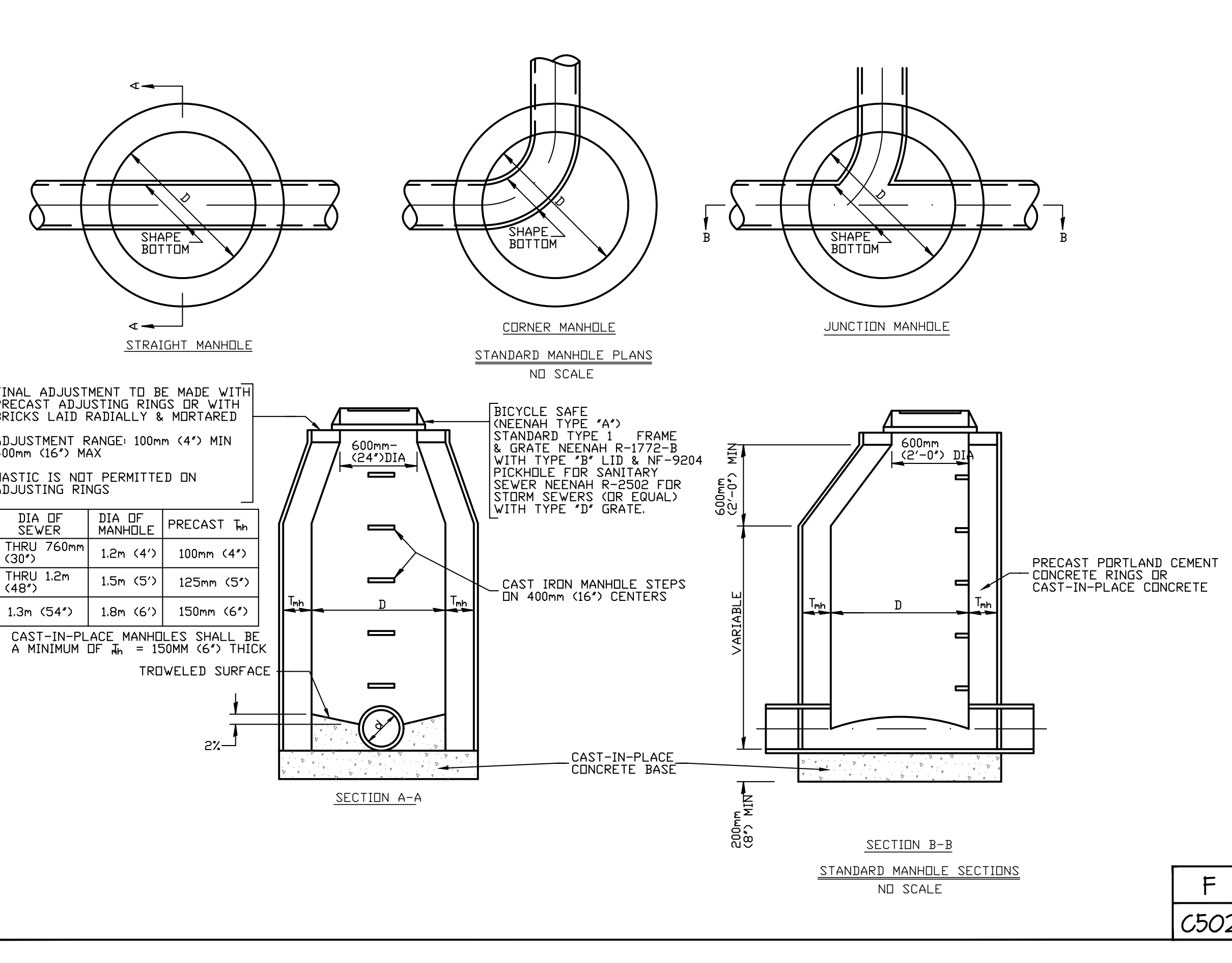
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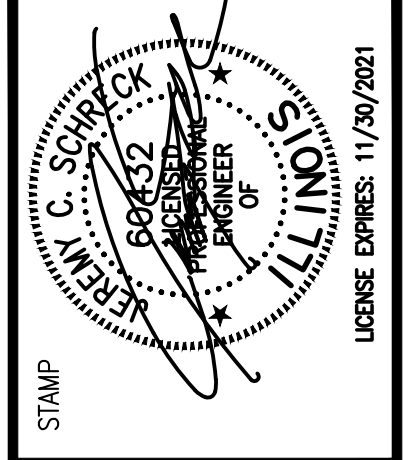
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SCALE: NO SCALE
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C502



WATER AND SEWER SEPARATION REQUIREMENTS - VERTICAL SEPARATION
SCALE: NO SCALE
E
C502



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C502



REVISIONS

NO.	DATE	APPR.	DESCRIPTION

SCALE: 1" = N/A'
DRAWN BY: NPM
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DATE: 4/29/20

PROJECT: GERIG DRIVE APARTMENTS
LOT 132, AIRPORT PARK SUBD., 16TH ADD.
3216 GERIG DRIVE
CITY OF BLOOMINGTON, IL 61704
GENERAL NOTES & DETAILS

PROJECT NO. 016888
PLAN SET DATE
SHEET NUMBER C502

Land Engineers, LLC
2404 Greyhound Road, Bloomington, IL 61704
309-827-4335 Fax: 309-827-4394
Design Firm No. 184-004522 Expires: 4/30/2021

CORE 3 DEVELOPMENT AND PROPERTY MANAGMENT
RESIDENTIAL DEVELOPMENT
 3216 GERIG DRIVE BLOOMINGTON, ILLINOIS

INDEX TO DRAWINGS

ARCHITECTURAL

- SD1 PROPOSED SITE PLAN
- SD2 PROPOSED BUILDING ELEVATIONS

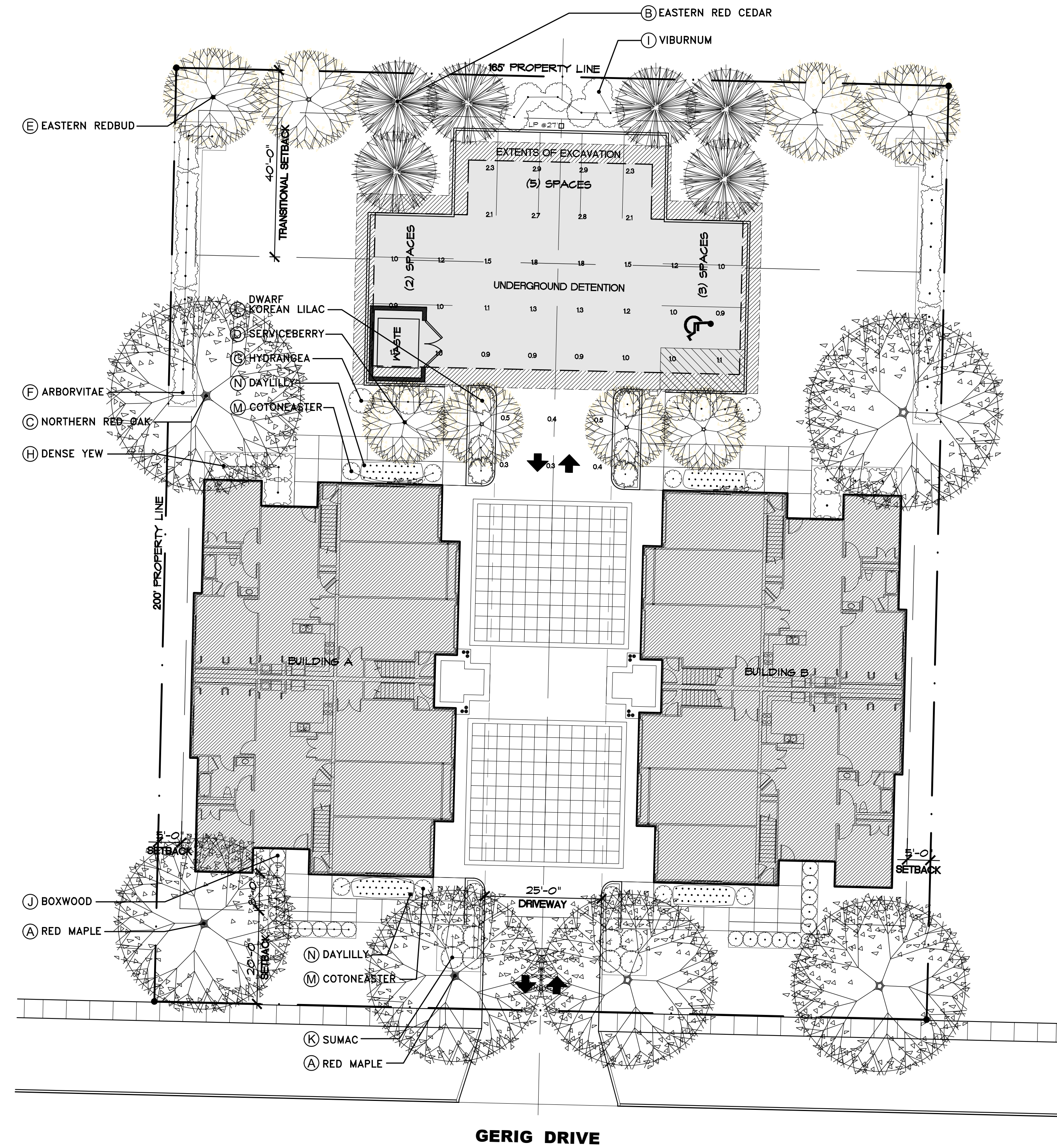
PROJECT NUMBER SAA18003
 PROJECT ISSUE DATE 04.27.2020 (FOR SPECIAL USE REVIEW)



SCHARNETTASSOCIATES.COM PHONE 309.828.4055
 118 W. WASHINGTON ST. BLOOMINGTON IL 61701

ZONING COMPLIANCE SUMMARY	
LOT DESCRIPTION	LOT 132 OF AIRPORT PARK SUBDIVISION, CITY OF BLOOMINGTON, MCLEAN COUNTY
LOT SIZE	0.76 ACRES
ZONING	B-2
LOT USE	RESIDENTIAL MULTI-FAMILY (PERMITTED BY SPECIAL USE)
SPECIAL USE SPECIFIC REQUIREMENTS (SECTION 44-1034)	MINIMUM LOT AREA 10,000 GSF MINIMUM LOT WIDTH 70 FT MINIMUM FRONT YARD 40 FT MINIMUM SIDE YARD 15 FT MINIMUM REAR YARD 20 FT
ADJACENT PROPERTY ZONING	NORTH - R-3B SOUTH - S-5 EAST - B-1 WEST - B-1
TRANSITIONAL YARDS	40' REQUIRED REAR YARD (R-3B ADJACENT)
WATER DETENTION	PROVIDED ON-SITE: UNDERGROUND DETENTION SYSTEM
PARKING REQUIREMENTS (TABLE 1208E)	1.5 SPACES PER 1 BEDROOM; 2 SPACES PER 2 BEDROOM = 22 SPACES (12 GARAGE STALL SPACES/10 PARKING LOT SPACES); 1 ACCESSIBLE PARKING SPACE PER 25 SPACES = 1 SPACE
LANDSCAPING REQUIREMENTS (SECTION 43-13) SEE PROPOSED TABLE	CANOPY/SHADE TREES - 25 FT OC ORNAMENTAL/UNDERSTORY TREES - 15 FT OC EVERGREEN TREES - 20 FT OC SHRUBS - 3-4 FT OC MIN 50% PLANTINGS TO BE NATIVE TO ILLINOIS FENCING NOT REQD FOR VEHICLES STORED LESS THAN 10 DAYS PER 44-1034 PARKING LOT ISLAND REQUIRED FOR LOTS WITH GREATER THAN 10 SPACES AND SHALL BE NOT LESS THAN 200 SF REFUSE ENCLOSURES 6FT MIN WITH COMPATIBLE MATERIALS

LANDSCAPE PLANTS SCHEDULE					
GENUS-SPECIES	COMMON NAME	SIZE	MATURE SIZE	INSTALLATION COMMENT	CHARACTERISTICS OF SPECIES
LARGE TREES:					
A <i>ACER RUBRUM</i> 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL.	60'-80" HEIGHT 40" DIAMETER	B & B, SPECIMEN, BRANCHED AT 5' MINIMUM	DECIDUOUS TREE, BROADLY OVAL TO ROUND, LEAVES OPPOSITE, SIMPLE MEDIUM GLOSSY GREEN WITH LONG RED PETIOLES, FALL COLOR DEEP RED TO REDDISH-PURPLE, ONE OF LAST TO COLOR IN FALL
B <i>JUNIPERUS VIRGIANA</i>	EASTERN RED CEDAR	8' HT	30'-65" HEIGHT 18'-15" DIAMETER	B & B, SPECIMEN;	BROADLY CONICAL, DENSE EVERGREEN CONIFER WITH HORIZONTAL BRANCHING, NEEDLED EVERGREEN, LOW MAINTENANCE, ATTRACTS BIRDS, WINTER INTEREST, TOLERANT OF DEER, DROUGHT, EROSION, DRY SOIL, DIOECIOUS SPECIES (SEPARATE MALE AND FEMALE TREES); FEMALE TREES PRODUCE ROUND GRAY TO BLACKISH-GREEN CONES
C <i>QUERCUS RUBRA</i>	NORTHERN RED OAK	2.5" CAL.	60'-75" HEIGHT 45" DIAMETER	B & B, SPECIMEN, BRANCHED AT 5' MINIMUM	DECIDUOUS, FALL COLOR (RUSSET TO BRIGHT RED), EASY TO TRANSPLANT, POLLUTION TOLERANT, GROWS IN ROUNDED SHAPE, ACORNS ARE FOOD PREFERENCE FOR WILDLIFE.
SMALL TREES:					
D <i>AMELANCHIER X GRANDIFLORA</i> 'AUTUMN'	AUTUMN BRILLIANCE SERVICEBERRY	10' HT	20' HEIGHT 18" DIAMETER	B & B, FULL AND WELL BRANCHED	DECIDUOUS TREE/SHRUB, BROADLEAF, VIGOROUS, UPRIGHT, DENSE, MULTIPLE STEMS BUT MAY BE PRUNED TO FORM A SMALL TREE, LEAVES SIMPLE, ALTERNATE, GLOSSY BRIGHT GREEN, BRIGHT ORANGE-RED FALL COLOR, WHITE FLOWER CLUSTERS IN SPRING
E <i>CERCIS CANADENSIS ALBA</i>	EASTERN REDBUD	8' HT	30' HEIGHT 20" DIAMETER	B & B, FULL AND WELL BRANCHED	DECIDUOUS TREE, SPREADING BRANCHES, FLATTISH TOP, LEAVES ALTERNATE, SIMPLE, LUSTROUS DARK GREEN COLOR, SMALL ROSY-PINK FLOWERS IN SPRING, PALE GREEN & BRIGHT YELLOW FALL COLOR,
F <i>THUJA ACCIDENTALIS</i>	AMERICAN ARBORVITAE 'DARK GREEN'	6' HT	10'-20' HEIGHT 5'-6" DIAMETER	B & B, FULL	DENSE, CONICAL SINGLE TRUNKED EVERGREEN TREE, MAY BE TOPPED AND USED AS HEDGE, FOLIAGE MAY SHOW WINTER BURN SUSCEPTIBLE TO STEM BREAKAGE IN WINTER
SHRUBS/GROUND COVERS:					
G <i>HYDRANGEA ARBORESCENS</i> 'ANNABELLE'	ANNABELLE HYDRANGEA	3 GAL.	4'-5" HEIGHT 3'-5" WIDE	CONTAINER FULL AND DENSE	WHITE SNOWBALLS OF FLOWERS IN SUMMER, BEST IN PART TO FULL SHADE BUT WILL TOLERATE SUN, BLOOMS EVERY YEAR FLOWERING ON NEW GROWTH
H <i>TAXUS X MEDIA</i> 'DENSIFORMIS'	DENSE YEW	3 GAL.	3'-4" HEIGHT 6'-8" WIDE	CONTAINER FULL AND DENSE MAINTAIN AT FULL SIZE	EVERGREEN, SUN OR SHADE, GREAT FOUNDATION PLANTING, DISEASE RESISTANT, LOW MAINTENANCE
I <i>VIBURNUM DENTATUM</i> 'SYNNESTVEDT'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	5 GAL.	8'-10" HEIGHT 8'-10" WIDE	CONTAINER FULL AND DENSE	INITIAL UPRIGHT OVAL FORM MATURING TO ARCHING/SPREADING FORM AT MATURITY, ADAPTIVE TO WIDE RANGE OF SOIL TYPES, FULL SUN EXPOSURE, CREAMY WHITE FLOWER CLUSTERS, BLUE FRUIT IN AUGUST ATTRACTING BUTTERFLIES AND WILDLIFE, BERRIES FOR BIRDS, GREAT FALL COLOR
J <i>BUXUS MICROPHYLLA</i> 'GREEN VELVET'	GREEN VELVET BOXWOOD	12" HT	3' HEIGHT 3" DIAMETER	CONTAINER, FULL AND DENSE MAINTAIN AT 2' WIDTH HEDGE, 18" HIGH	EVERGREEN SHRUB, BROADLEAF, NARROW PYRAMIDAL WHEN YOUNG, LEAVES NEEDLE-LIKE, ALTERNATE, YELLOWISH-GREEN ABOVE/WHITENED BELOW, MAY TURN A RICH BROWN IN FALL, CONES GLOBULAR
K <i>RHUS AROMATICA</i> 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL.	3' HEIGHT 6'-8" DIAMETER	CONTAINER, FULL AND WELL BRANCHED	DECIDUOUS SHRUB, LEAVES ALTERNATE, COMPOUND, TRIFOLIATE, GLOSSY GREEN, ORANGE TO RED OR PURPLISH-RED FALL COLOR
L <i>SYRINGA MEYERI</i> 'PALIBIN'	DWARF KOREAN LILAC	3 GAL.	4'-5" HEIGHT 4'-5" DIAMETER	CONTAINER, FULL AND WELL BRANCHED MAINTAIN AT FULL SIZE	DECIDUOUS SHRUB, MORE COMPACT THAN SPECIES, ROUNDED, DENSE, LEAVES SIMPLE, OPPOSITE, GLABROUS, EVEN GLOSSY ABOVE, FLOWERS ARE PURPLE-RED BEDS OPENING TO WHITISH-PINK
M <i>COTONEASTER X HESSEI</i>	HESSEI COTONEASTER	3 GAL.	1'-2" HEIGHT 3'-4" SPREAD	CONTAINER, FULL AND DENSE MAINTAIN AT FULL SIZE	LOW-GROWING DECIDUOUS, GROUND COVER SHRUB, TOUGH AND ADAPTABLE PLANT THAT CAN WITHSTAND POOR SOIL, AVOID POORLY DRAINED SOILS, REQUIRES MINIMUM PRUNING; TOLERANT AGAINST RABBIT
N <i>HEMEROCALLIS STELLA D'ORO</i>	STELLA D'ORO DAYLILY	1 GAL.	10"-12" HEIGHT 10"-12" WIDE	CONTAINER FULL AND DENSE	GOLD COLOR FLOWERS WITH REBLOOMING EARLY (SUMMER/LATE SUMMER), LIGHT GREEN ARCHING LEAVES, DROUGHT RESISTANT, LOAMY/CLAY SOIL, ATTRACTS BUTTERFLIES, LOW MAINTENANCE



PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

GENERAL NOTE:

THE SITE PLAN INFORMATION PROVIDED ON THIS PLAN SHEET HAS BEEN DEVELOPED WITHOUT ACCESS TO COMPLETE SITE SURVEYS OF PROJECT SITE, BUT IS BASED ON WALKG615.ORG DATA AND AERIAL PHOTOS OF SITE. AS SUCH, THE SITE PLAN INFORMATION SHOWN IS TO BE CONSIDERED AN APPROXIMATION OF AREA, SIDEWALKS, DRIVEWAYS, LANDSCAPE MATERIALS AND SITE IMPROVEMENTS. UTILITIES (WATER, GAS, ELECTRIC AND COMMUNICATION), TOPOGRAPHY, PROPERTY EASEMENTS AND ALL OTHER SITE FEATURES, CONSTRAINTS OR ADDITIONAL INFORMATION THAT SHOULD BE TAKEN INTO CONSIDERATION ARE NOT INDICATED. CONTRACTOR'S QUANTITATIVE CALCULATIONS AND ASSUMPTIONS MADE IN PREPARATION OF A BID ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR'S OWN ON-SITE OBSERVATION, INVESTIGATION, SITE FAMILIARITY AND EXPERIENCE.

PRELIMINARY - NOT FOR CONSTRUCTION

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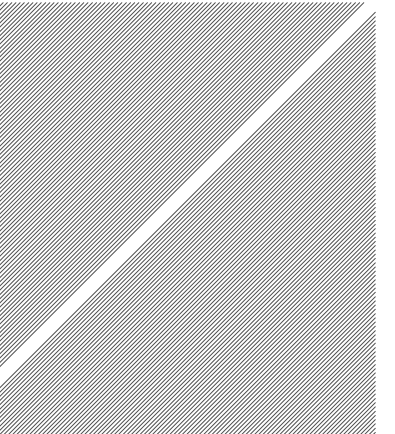
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CORE 3 DEVELOPMENT AND PROPERTY MANAGEMENT

RESIDENTIAL DEVELOPMENT

BLOOMINGTON, ILLINOIS

3216 GERIG DRIVE



SCHARNETT
ASSOCIATES ARCHITECTS LLC

SCHARNETT ASSOCIATES, COM. PHONE 309.898.4055
118 W. WASHINGTON ST., BLOOMINGTON, IL 61701

SAA18003
SHEET 1 OF 2 SHEETS

SD1
PROPOSED SITE PLAN

DRAWN: TDB DATE: 04.27.20

REVISIONS:

THE DIMENSIONS SHOWN ARE REASONABLY ACCURATE, BUT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND TO CHECK WITH ALL PORTIONS OF THE WORK PRIOR TO PROCEEDING WITH CONSTRUCTION OR AUTHORIZING FABRICATION. NOTIFY THE ARCHITECT IF CLARIFICATION OF OR REVISION TO ANY INFORMATION SHOWN IS REQUIRED.



WEST ELEVATION OF BUILDING A

SCALE: 1/4" = 1'-0"

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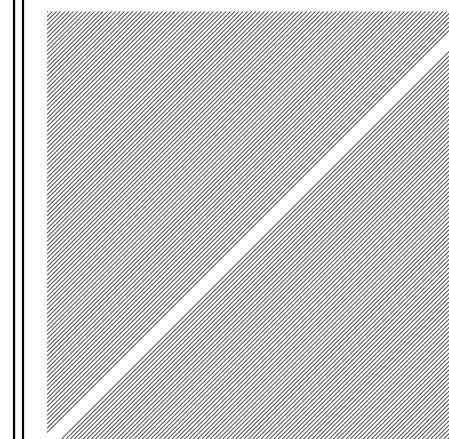
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3216 GERIG DRIVE



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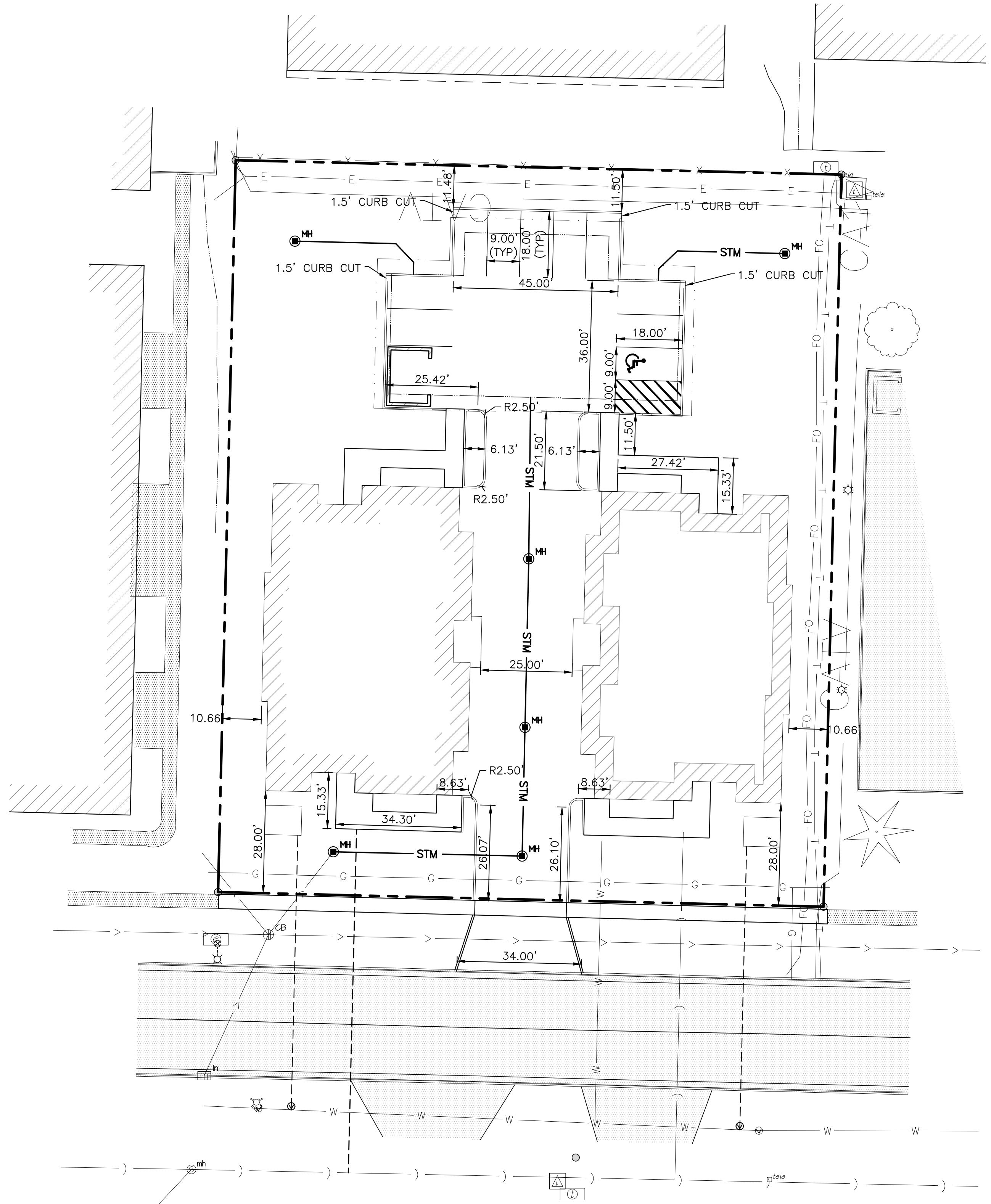
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 SHEET 2 OF 2 SHEETS

SD2
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 BUILDING ELEVATION

DRAWN: ORK DATE: 04.27.20

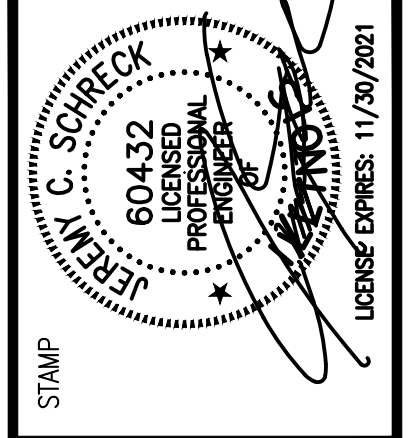
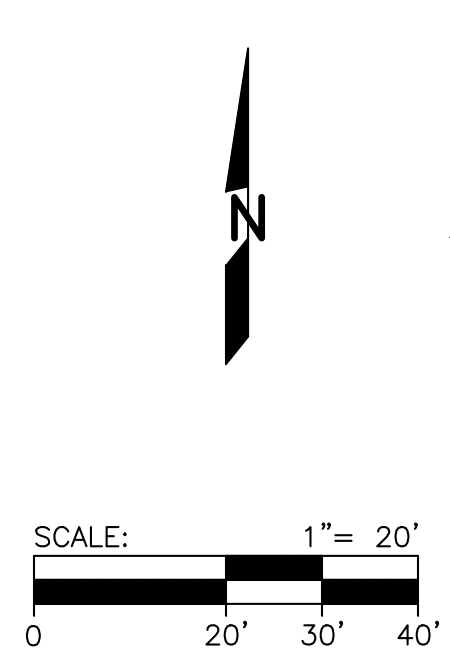
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- LEGEND**
- STORM MANHOLE
 - WATER VALVE
 - PROPOSED SANITARY SERVICE LINE
 - PROPOSED STORM LINE
 - PROPOSED WATER SERVICE LINE
 - PROPOSED BUILDING
 - PROPOSED BOUNDARY LINE
 - PROPOSED FLOOD ROUTE
 - PROPOSED SPOT ELEVATION
 - TP = TOP OF PAVEMENT
 - TW = TOP OF WALK

- = PROPOSED CONCRETE (HEAVY)
- = PROPOSED CONCRETE (STANDARD)
- = PROPOSED LANDSCAPE
- = PROPOSED CONCRETE SIDEWALK



REVISIONS	
NO.	DESCRIPTION

SCALE	1" = 20'
DRAWN BY	LCH
DATE	5/5/20
CHECKED BY	JCS
DATE	5/5/20

PROJECT
GERIG DRIVE APARTMENTS
 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
GEOMETRIC LAYOUT PLAN

Land Engineers, LLC
 2404 Greyhound Road, Bloomington, IL 61704
 309-827-4335 Fax: 309-827-4394
 Design Firm No. 184-004622 Expires: 4/30/2021

PROJECT NO.	016888
PLAN SET DATE	
SHEET NUMBER	C202



SPECIAL CONSTRUCTION NOTES:

- CURB SHALL BE 6" BARRIER CURB. SEE DETAIL I/C501 & J/C501.
- SEE ARCHITECTURAL PLANS FOR BUILDING SIDEWALK MATERIAL TYPE.
- CONTRACTOR SHALL INSPECT EXISTING SANITARY SERVICE FOR SIZE AND DEPTH AND IF SUITABLE, SHALL CONNECT SAID SERVICE TO THE EAST BUILDING. COORDINATE WITH PLANS.
- NEW SANITARY SERVICE FOR WEST BUILDING SHALL BE INSTALLED ACROSS GERIG DRIVE UTILIZING THE OPEN CUT METHOD.
- WATER SERVICES SHALL BE INSTALLED ACROSS GERIG DRIVE UTILIZING THE OPEN CUT METHOD.
- CONTRACTOR SHALL DISCONNECT EXISTING WATER SERVICE AT THE WATER MAIN IN ACCORDANCE WITH THE CITY OF BLOOMINGTON REQUIREMENTS AND SHALL REMOVE AND DISPOSE OF ALL WASTE MATERIALS ASSOCIATED WITH SAID WATER SERVICE. CONTRACTOR SHALL REPLACE DAMAGED PAVEMENT IN ACCORDANCE WITH THE CITY OF BLOOMINGTON REQUIREMENTS. DISCONNECT SHALL BE WITNESSED BY THE CITY OF BLOOMINGTON WATER DEPARTMENT. CONTRACTOR SHALL CALL THE CITY OF BLOOMINGTON WATER DEPARTMENT AT (309)343-2426 A MINIMUM OF 2 WORKING DAYS IN ADVANCE OF PERFORMING WORK.
- PCC SIDEWALK IN R.O.W SHALL BE 6" THICK, EXCEPT AT DRIVE WHERE IT SHALL BE 8" THICK.
- CONTRACTOR SHALL COORDINATE SEWER & WATER SERVICE CONNECTIONS WITH PLUMBING PLANS.

SITE CHARACTERISTICS:

ZONING: B-1 - GENERAL COMMERCIAL DISTRICT

PRE-DEVELOPED CONDITIONS
 TOTAL AREA: = 33,081 S.F. (0.76 AC.) 100%
 IMPERVIOUS = 0 S.F. (0.0 AC.) 0%
 PERVIOUS = 33,081 S.F. (0.76 AC.) 100%

POST-DEVELOPED CONDITIONS
 TOTAL AREA: = 33,081 S.F. (0.76 AC.) 100%
 IMPERVIOUS = 19,525 S.F. (0.45 AC.) 59.2%
 PERVIOUS = 13,556 S.F. (0.31 AC.) 40.8%

TOTAL DISTURBED AREA (APPROX): 33,081 S.F. (0.76 AC.)

LEGEND

- STORM MANHOLE
- WATER VALVE
- PROPOSED SANITARY SERVICE LINE
- PROPOSED STORM LINE
- PROPOSED WATER SERVICE LINE
- PROPOSED BUILDING
- PROPOSED BOUNDARY LINE
- SF --- SILT FENCE LINE
- H --- HANDICAP SYMBOL
- 780 --- MAJOR CONTOUR LINE (5FT INTERVAL)
- 782 --- MINOR CONTOUR LINE (1FT INTERVAL)
- 780.92 --- PROPOSED FLOOD ROUTE
- PROPOSED SPOT ELEVATION
 TP = TOP OF PAVEMENT
 TW = TOP OF WALK
- [Pattern] --- PROPOSED CONCRETE (HEAVY)
- [Pattern] --- PROPOSED CONCRETE (STANDARD)
- [Pattern] --- PROPOSED LANDSCAPE
- [Pattern] --- PROPOSED CONCRETE SIDEWALK

GENERAL CONSTRUCTION NOTES:

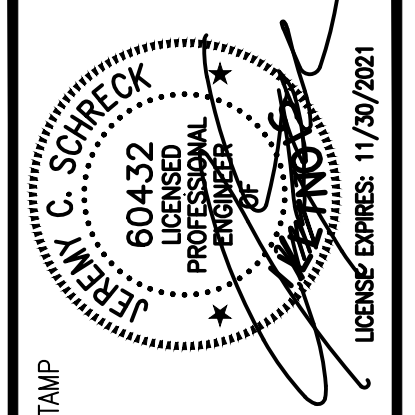
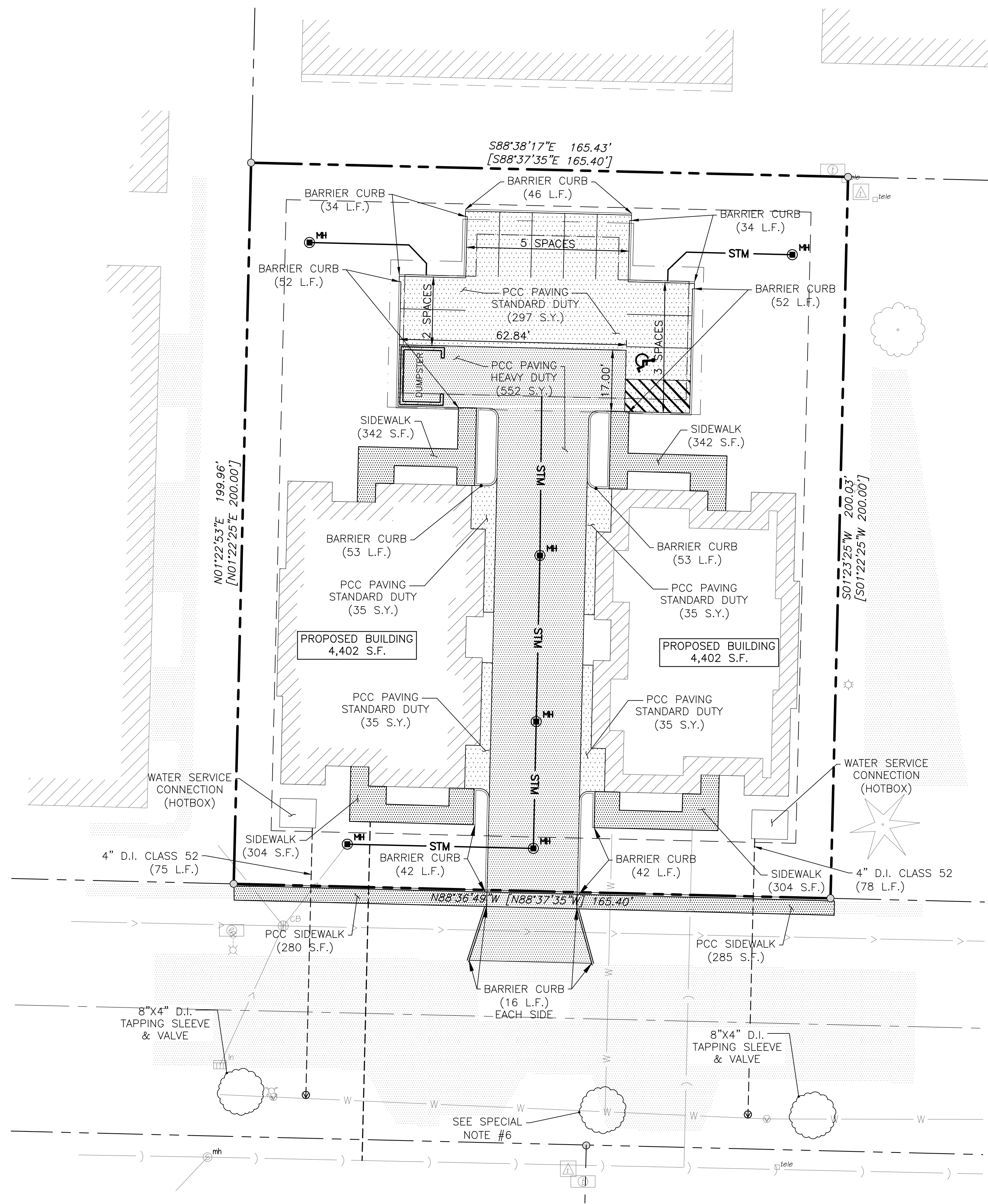
- ALL MATERIAL AND METHODS FOR PAVING AND EARTHWORK SHALL BE DONE IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION) EXCEPT AS NOTED DIFFERENTLY ON THE PLANS. HERE AFTER THESE WILL BE REFERRED TO AS STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE THE BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND SILTATION AS REQUIRED BY TOWN OF NORMAL PERMITS. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND THE CITY OF BLOOMINGTON. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITION OF SILT. THE OWNERS MAY, AT THEIR OWN OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF MUD SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER, PROJECT ENGINEER, OR CITY OF BLOOMINGTON, ALL AT THE EXPENSE OF THE CONTRACTOR.
- THE STANDARD SPECIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SECTIONS:
 - SECTION 201 - CLEARING, TREE REMOVAL AND PROTECTION, CARE AND REPAIR OF EXISTING PLANT MATERIAL
 - SECTION 204 - BORROW AND FURNISHED EXCAVATION
 - SECTION 205 - EMBANKMENT
 - SECTION 208 - TRENCH BACKFILL
 - SECTION 212 - FINAL SHAPING, TRIMMING AND FINISHING
 - SECTION 250 - SEEDING - CLASS I
 - SECTION 280 - TEMPORARY EROSION CONTROL
 - SECTION 301 - SUBGRADE PREPARATION
 - SECTION 351 - AGGREGATE BASE COURSE
 - SECTION 420 - PORTLAND CEMENT CONCRETE PAVEMENT
 - SECTION 780 - PAVEMENT MARKING
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND EXTENT OF ALL UTILITIES ABOVE AND BELOW GROUND IN THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING J.U.L.I.E. (1-800-892-0123), A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE LOCATIONS OF THE EXISTING UTILITIES IN THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL REMOVE WASTE AND UNSUITABLE MATERIAL FROM THE OWNER'S PROPERTY AND DISPOSE OF THE SAME, OFF-SITE IN A LEGAL MANNER.
- THE CONTRACTOR SHALL REMOVE 6" OF TOPSOIL AND STOCKPILE AT A LOCATION DETERMINED BY THE OWNER. ANY UNUSED MATERIAL AT THE COMPLETION OF THE PROJECT SHALL BE STOCKPILED AT A LOCATION DETERMINED BY THE OWNER.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED WITH SEEDING - CLASS I - LAWN MIXTURE.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL DAMAGE CAUSED AS A RESULT OF THE CONSTRUCTION ACTIVITIES. THE DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL FIELD TILE ENCOUNTERED DURING SITE IMPROVEMENT CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACHIEVED THE FIELD TILE SHALL BE REPAIRED WITH A NEW PIPE OF SIMILAR DIAMETER AND MATERIAL TO THE ORIGINAL LINE AND RETURNED TO OPERATIONAL CONDITION. ADDITIONALLY, AN "AS-BUILT" RECORD OF THE LOCATION OF ALL FIELD TILES FOR ON-SITE DRAIN PIPE ENCOUNTERED SHALL BE MADE BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER UPON COMPLETION OF THE PROJECT.
- ALL HANDICAP PARKING STALLS SHALL BE MARKED WITH AN R7-8 "RESERVED PARKING" SIGN AND AN R7-1101 "250 FINE" SIGN. U.S. STANDARD SIGNS SHALL BE PLACED AT THE HEAD OF THE PARKING STALLS SHALL BE PAINTED IN ACCORDANCE WITH THE ADA STANDARDS AND THE STANDARD SPECIFICATIONS.

SEWER AND WATER UTILITY NOTES:

- ALL MATERIAL AND METHODS FOR CONSTRUCTION OF SANITARY SEWER SERVICE, WATER SERVICE AND STORM SEWER SYSTEM SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION, THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AND THE TOWN OF NORMAL MANUAL OF PRACTICE EXCEPT AS NOTED DIFFERENTLY ON THE PLANS. HERE AFTER THESE WILL BE REFERRED TO AS STANDARD SPECIFICATIONS.
- STORM SEWER MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SHALL CONFORM TO ONE OF THE FOLLOWING:
 - REINFORCED CONCRETE CULVERT, STORM DRAIN AND SEWER PIPE.
 - DUCTILE IRON PIPE, CLASS 150, CONFORMING TO A.N.S.I./A.W.W.A. C-151/A21.51, WITH SINGLE GASKET JOINTS MEETING A.N.S.I./A.W.W.A. C-111/A21.11, WITH STANDARD CEMENT LINING AS PER A.N.S.I./A.W.W.A. C-104/A21.4 AND WITH BITUMINOUS COATING AS PER SECTION 51-8.1 OF A.N.S.I./A.W.W.A. C-151/A21.51.
 - PVC PIPE SHALL CONFORM TO ASTM 3034, TYPE PSM AND SHALL BE MADE OF PVC HAVING A MINIMUM CELL CLASS OF R454-C AND SHALL HAVE A MINIMUM PIPE STIFFNESS OF 46 PSI.
- CATCH BASINS, MANHOLES, INLETS AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- UNDERGROUND STORM WATER DETENTION SYSTEM SHALL BE RTANK SYSTEM. UNDERGROUND STORM WATER DETENTION STRUCTURE SHALL BE CONSTRUCTED PER MANUFACTURER SPECIFICATIONS. SEE RTANK MANUFACTURER FOR DETAILS.
- SANITARY SERVICES SHALL BE LAID AT A SLOPE OF 1.0% OR GREATER. CHANGES IN SLOPE ON THE SERVICE MAY BE BY "BREAKING JOINTS" PROVIDED THE JOINT SEAL IS AIR TIGHT AND THE RECOMMENDATIONS OF THE MANUFACTURER ARE NOT EXCEEDED. FITTINGS NOT GREATER THAN A 45° BEND MAY BE USED WHERE CHANGES IN GRADE DICTATE.
- CONSTRUCTION OF WATER SERVICE LINES AND APPURTENANCES MUST CONFORM IN ALL RESPECTS TO AWWA C800 STANDARDS OF LATEST REVISIONS. WHERE COPPER PIPE IS USED, SERVICE PIPE MUST BE "TYPE K" SEAMLESS COPPER TUBING CONFORMING TO ASTM SPECIFICATION B-88-62, WITH RED BRASS FITTINGS CONFORMING TO ASTM B-62 SPECIFICATIONS.
- ALL WATER SERVICE CONNECTIONS AND PIPING SHALL BE MAINTAINED AT A DEPTH OF FOUR (4) FEET MINIMUM BURIAL TO PREVENT FREEZING OR BE PROPERLY INSULATED AS APPROVED BY THE DIRECTOR OF WATER.
- THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND DEPTH OF THE EXISTING SANITARY AND WATER SERVICE LINES, AND SHALL BE COORDINATED WITH THE PLUMBING PLANS.
- A GRANULAR CRADLE (BEDDING AND HAUNCHING) WILL BE REQUIRED FOR ALL STORM SEWERS AS SHOWN IN DETAIL C/C502. MATERIAL FOR THE GRANULAR CRADLE SHALL COMPLY WITH EITHER FA1 OR FA2, EXCEPT THE PERCENT PASSING THE 75µm (NO. 200) SIEVE SHALL BE 2±2, IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- MATERIAL FOR TRENCH BACKFILL SHALL COMPLY WITH ARTICLE 1003.04 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, EXCEPT THAT THE BEDDING TYPE FOR ALL SANITARY SEWERS SHALL BE ASTM C12-04, ¾" - ¾" CRUSHED STONE, IDOT GRADATION CA 11. THE MINIMUM BEDDING CLASS FOR SANITARY SEWERS SHALL BE CLASS B AND THE MINIMUM SAFETY FACTOR SHALL BE 1.20, AND SAND BEDDING SHALL NOT BE USED FOR SANITARY SEWERS.
- THE CITY OF BLOOMINGTON WATER DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONNECTING TO ANY CITY UTILITY.

PAVEMENT & EARTH EXCAVATION NOTES

- P.C. CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE STANDARD SPECIFICATIONS.
- AGGREGATE BASE COURSE, TYPE B SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 301 OF THE STANDARD SPECIFICATIONS.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 301 OF THE STANDARD SPECIFICATIONS.
- SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM 698.
- ALL EARTH EMBANKMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
- MAXIMUM JOINT SPACING SHALL BE 12 FEET.
- CONTRACTOR SHALL SUBMIT EXPANSION JOINT LAYOUT TO ENGINEER FOR REVIEW.



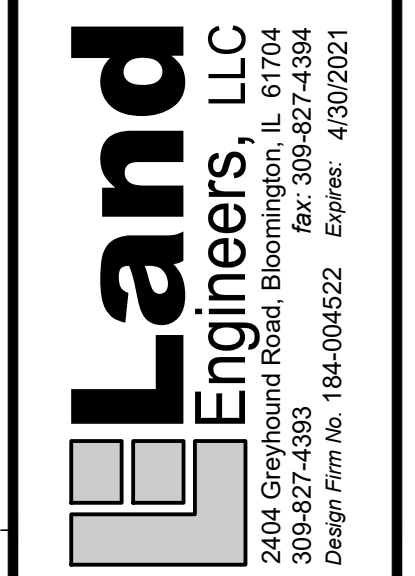
NO.	DATE	APPR.	DESCRIPTION

SCALE: 1" = 20'

DRAWN BY: LCH
DATE: 5/5/20

CHECKED BY: JCS
DATE: 5/5/20

PROJECT: GERIG DRIVE APARTMENTS
 LOT 132, AIRPORT PARK SUBD., 16TH ADD.
 3216 GERIG DRIVE
 CITY OF BLOOMINGTON, IL 61704
 SITE DEVELOPMENT PLAN



PROJECT NO. 016888
 PLAN SET DATE
 SHEET NUMBER C201



CITY OF BLOOMINGTON
APPLICATION FOR SITE PLAN
REVIEW

To the City of Bloomington:

I (we), the undersigned, do hereby respectfully petition the City of Bloomington for a site plan review as set forth herein, pursuant to Division 17-9 Site Plan Review Procedures set forth in Chapter 44 of the Bloomington City Code, and in support thereof state the following facts and make the following certifications and agreements:

1. The name of the proposed development is: AIRPORT PARK APTS

2. The property in question is legally described below and attached as Exhibit A:
lot 132 in AIRPORT PARK
SUBDIVISION 16th Addition

3. The property has the following common address:
3216 Gery DRIVE

4. The property has the following zoning classification: B-2

5. The approximate size of the property is as follows:
145' (feet wide) 200 (feet long)

6. The names and addresses of the property owner(s) making this request are as follows:

CIP LLC
(First & Last Name)
[Redacted]
(Street Address)
Bloomington, Ill
(City & Zip Code) 61701

JOOI BLOOMINGTON MF LLC
(First & Last Name) c/o MIKE HUNDMAN
[Redacted]
(Street Address)
Bloomington, Ill
(City & Zip Code) 61701

*Please attach a separate sheet if there are additional property owners to be listed. Additional proof of ownership, pursuant to Division 17-3 of Chapter 44 of the City Code may be required.

7. **The site plan provided includes the following information:**
- a) Location by Section, Town and Range or other legal description;
 - b) Names and addresses of the persons having proprietary interest over the property;
 - c) Graphic (engineering) scale;
 - d) North-points;
 - e) Date of preparation;
 - f) The boundary lines of the property in question;
 - g) Size, location, height, number of stories, building design, and arrangement of proposed buildings and structures and existing buildings and structures;
 - h) Schematic drawings illustrating the locations and dimensions of proposed buildings and structures, the design and character of the building, elevations, exterior building materials and types of construction of all proposed buildings and structures;
 - i) A scaled site plan showing the existing buildings and land uses, contiguous land uses, natural topographic features, zoning districts, public thoroughfares, transportation, and utilities.
 - j) A scaled site plan of the proposed development showing lot area, the required yards and setbacks, contour lines, common space, and the location, floor area ratio, lot area coverage and heights of buildings and structures, size, and location of proposed parking areas with arrangement of bays and aisles and curb cuts, and with indication of the total number of spaces;
 - k) Schematic drawings illustrating the design and character of the building elevations, types of construction, and floor plans of all proposed buildings and structures. The drawings shall also include a schedule showing the number, type, and floor area of all uses or combinations of uses, and the floor area of the entire development.
 - l) Size, location, and composition of all proposed fencing, refuse enclosures, and landscaped screening material;
 - m) Landscaping plan indicating size, location, and general characteristics of plant materials as specified in 13 of this Zoning Ordinance if the project would result in new landscaping or landscape changes.
 - n) A site drainage plan for the proposed project if required.
 - o) A photometric/lighting plan for the proposed project if the project would result in new exterior lighting or changes to exterior lighting.

8. **The Applicant(s) requests the following variations to the bulk, sign, and off-street parking and loading regulations of Chapter 44 of the City Code (if applicable):**

NONE

9. The Applicant(s) request consideration of the following uses, which would otherwise be allowed in the district by a special use permit (if applicable):

2 - 6 Unit apartment BUILDINGS

10. This application complies with the standards for site plan approval set forth in Division 17 of Chapter 44 of the City Code.

11. To the fullest extent permitted by law, Applicant(s) agree to and hereby shall indemnify and hold harmless the City of Bloomington, its officers, officials, agents and employees from and against liability and all claims arising out of the site plan review.

12. Applicant(s) agree to submit payment of any fees or costs associated with this application for the site plan review in accordance with Chapter 44 of the City Code.

13. All other facts, representations and agreements pertaining to this petition are as follows:

WHEREFORE, the Applicants(s) certify the above stated provisions are true and correct, agree to be bound by the indemnification provisions contained herein, and request the City of Bloomington approve the site plan provided in accordance with this Applicant.

CIP LLC
(Print Name)

(Signature)

4/27/20
(Date)

JONI BLOOMINGTON MF, LLC
(Print Name)

(Signature)

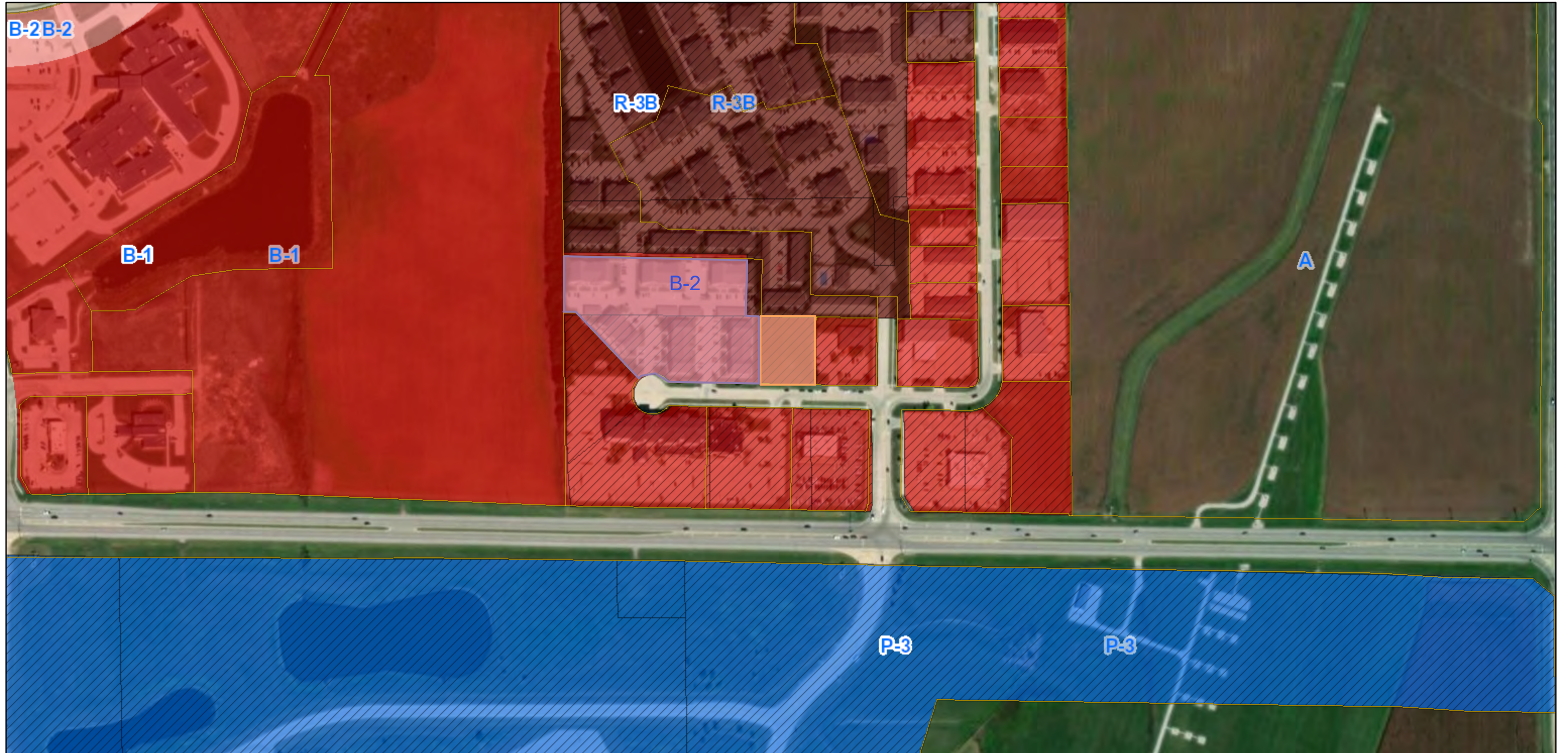
4/27/20
(Date)

* Please attach a separate sheet if additional property owners must sign the petition.

**EXHIBIT A
LEGAL DESCRIPTION**

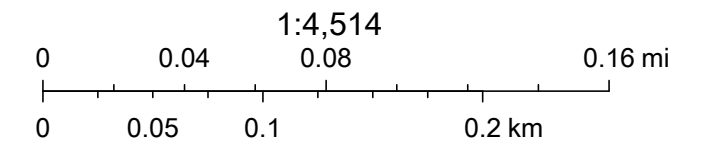
Lot 132 in AIRPORT PARK SUBDIVISION 16th
Addition, AS SHOWN on the PLAT recorded
June 12, 2014 as DOCUMENT No. 2014-000009403,
in McLean County, Illinois

3216 Gerig Drive is Shaded in Orange and Zoned B-2



5/13/2020, 11:01:49 AM

- | | | | | | | |
|---------|-----------|---------|--------|------|----------------------------------|--|
| Parcels | R-2 | B-2 | R | C-MT | R-2 | B-2 Local Commercial District |
| Downs | R-3 | M-1 | Colfax | C-PD | Bloomington | C-1 Office District |
| AG | Lexington | Danvers | AG | C-SC | A Agricultural | D-1 Central Business District |
| C-1 | O-1 | C | C | C-V | P-1 University District | D-2 Downtown Transition District |
| C-2 | R-1 | GOV | C-CH | M | P-2 Public Land and Institutions | D-3 Downtown Warehouse and Arts District |
| PUBLIC | R-2 | I | C-FD | R-1 | P-3 Airport District | M-1 Restricted Manufacturing District |
| R-1 | B-1 | O | C-ML | | | |



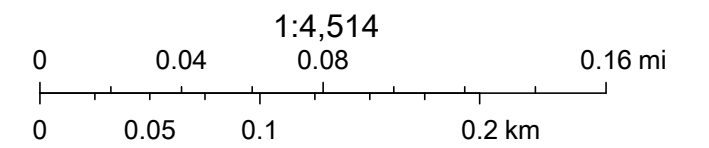
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, McGIS, Mclean County Museum of History

3216 Gerig Drive is Shaded in Orange



5/13/2020, 10:56:25 AM

 Parcels



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, McGIS, Mclean County Museum of History

81242

A Public Hearing before the Bloomington Planning Commission will be held virtually on Wednesday, May 27, 2020 at 4:00 PM at www.cityblm.org /live on an application submitted by CIP, LLC (1716 RT Dunn Dr., Bloomington IL). The applicant is requesting a Site Plan Review for proposed Airport Park Apartments with a Special Use permit to allow 2 six unit apartment buildings in a B-2 zone area at 3216 Gerig Drive Bloomington, IL. The Subject Property is legally described as Airport Park Sub 16th Addn Lot 132 0.76 Acres (PIN: 15-31-451-008). The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at www.cityblm.org. To provide testimony on this item please register at least 15 minutes in advance of the start of the meeting at <https://www.cityblm.org/government/boards-commissions/register-for-public-comment>. Public comments can also be emailed at least 15 minutes prior to the start of the meeting to publiccomment@cityblm.org. This hearing will be accessible to individuals with disabilities in compliance with the ADA and other applicable laws. For special needs or accessible questions please contact the City Clerk at 109 E. Olive St., Bloomington, (309) 434-2240, cityclerk@cityblm.org or TTY at (309) 829-5115.

Published: May 11, 2020



Department of Community Development 115 E
Washington St, Ste 201
Bloomington IL 61701
(309)434-2226
planning@cityblm.org

May 13, 2020

Dear Property Owner or Occupant:

The Planning Commission of the City of Bloomington, Illinois, will hold a virtual public hearing on Wednesday, May 27, 2020 at 4:00 PM at www.cityblm.org/live on an application submitted by CIP, LLC (1716 RT Dunn Dr., Bloomington IL).

You are receiving this notice because you own or occupy property within a 500-foot radius of the subject property (refer to attached map). All interested persons may present evidence or testimony regarding said petitions, or ask questions related to the petitioner's requests at the scheduled public hearing.

The applicant is requesting a Site Plan Review for proposed Airport Park Apartments with a Special Use permit to allow 2 six unit apartment buildings in a B-2 zone area at 3216 Gerig Drive Bloomington, IL. The site plan review is intended to facilitate comprehensive development of an area by reducing impacts or conflicts on surrounding properties and is regulated by Chapter 44, Section 17-9 of the Bloomington City Code.

The Subject Property is legally described as Airport Park Sub 16th Addn Lot 132 0.76 Acres (PIN: 15-31-451-008).

The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at www.cityblm.org. To provide testimony on this item please register at least 15 minutes in advance of the start of the meeting at <https://www.cityblm.org/government/boards-commissions/register-for-public-comment>. Public comments can also be emailed at least 15 minutes prior to the start of the meeting to publiccomment@cityblm.org. This hearing will be accessible to individuals with disabilities in compliance with the ADA and other applicable laws. For special needs or accessible questions please contact the City Clerk at 109 E. Olive St., Bloomington, (309) 434-2240, cityclerk@cityblm.org or TTY at (309) 829-5115, preferably no later than five days before the hearing.

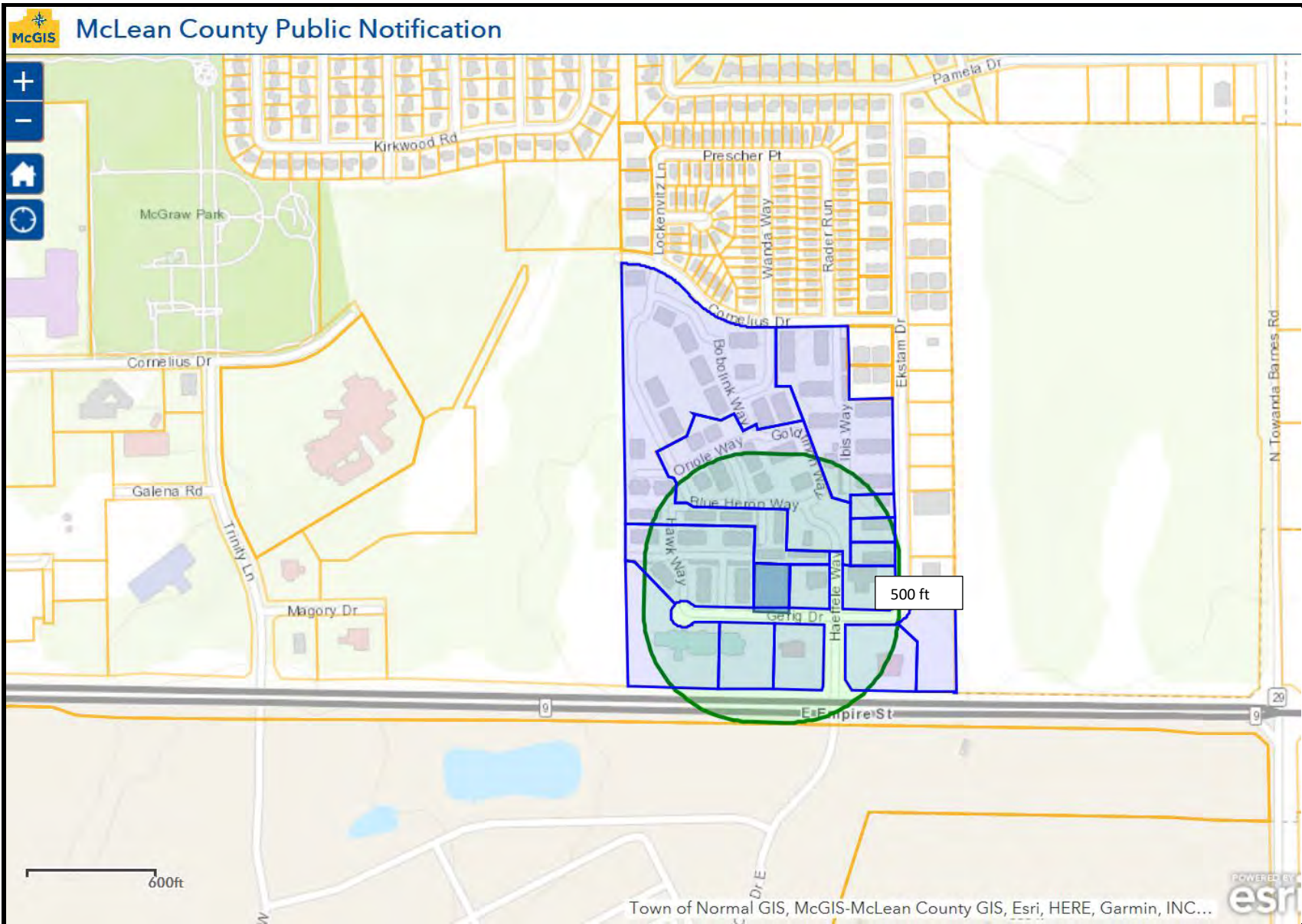
If you desire more information regarding the proposed petitions or have any questions, you may email planning@cityblm.org or call (309) 434-2226. Please note this meeting could be subject to change based on a lack of quorum or other reasons. Notice of a change will also be posted online at www.cityblm.org.

Sincerely,

Planning Division staff

Attachment: Map of notified properties within 500 ft of subject property

Public Hearing on May 27, 2020 for a Site Plan Review & Special Use Permit at 3216 Gerig Drive.



DOUGLAS GERIG
209 S PROSPECT RD STE 3B
BLOOMINGTON, IL 61704

AMMARF LLC
407 S MAIN
NORMAL, IL 61761

CIP, LLC
1716 R T DUNN DR STE 4
BLOOMINGTON, IL 61701

TRABB PARDO
LUIS&SHARMON JANE HILFINGER
TRUSTEES 200 N LINDEN
NORMAL, IL 61761

JB BL LLC
1716 R T DUNN DR STE 4
BLOOMINGTON, IL 61701

BLOOMINGTON NORMAL AIRPORT
AUTHORITY
3201 CIRA DR STE 200
BLOOMINGTON, IL 61704

BLARNEY STONE V LLC
PO BOX 1900
BLOOMINGTON, IL 61702

JACOBSEN & SIKORA LLC
3220 GERIG DR
BLOOMINGTON, IL 61704

SINCLAIR INVESTMENTS LLC
PO BOX 117607
BURLINGAME, CA 94011

HI BLOOMINGTON LLC
1716 R T DUNN DR STE 4
BLOOMINGTON, IL 61701

WINGOVER EAST LLC
912 N LINDEN
BLOOMINGTON, IL 61701