



**AGENDA  
HISTORIC PRESERVATION  
CITY HALL COUNCIL CHAMBERS  
109 EAST OLIVE STREET; BLOOMINGTON, IL 61701  
THURSDAY, March 19, 2020 at 5:00 P.M.**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. PUBLIC COMMENT**

- 4. MINUTES** Consideration, review and approval of Minutes of the February 20, 2020 meeting of the Bloomington Historic Preservation Commission.

**5. REGULAR AGENDA**

**A. BHP-05-20** Consideration, review and action on a Rust Grant for \$25,000 for a façade rehabilitation (revised - tabled at the February 20, 2020 meeting), 113 W. Front St.; 1856, National Register Downtown Historic District. (Ward 6)

**B. BHP-03-20** Consideration, review and action on a COA to replace flat portions of the roof and replace broken and missing ceramic roof tiles, 908 N. Prairie St.; 1906, contributing to the locally designated Franklin Square Historic District. (Ward 4)

**C. BHP-08-20** Consideration, review and action on a Funk Grant to replace flat portions of the roof and replace broken and missing ceramic roof tiles, 908 N. Prairie St.; 1906, contributing to the locally designated Franklin Square Historic District. (Ward 4)

**D. BHP-04-20** Consideration, review and action on a COA for the Adlai Stevenson house to replace asphalt shingle roof and aluminum K style gutters with like materials, 901 N. McLean St.; ca. 1869, contributing to the locally designated Franklin Square Historic District. (Ward 4)

**E. BHP-07-20** Consideration, review and action on a Rust Grant for \$13,170.50 to repoint and replace 150 damaged bricks on the exterior façade and walls at 107 W. Monroe St., ca. 1901, contributing to the Downtown National Register Historic District. (Ward 6)

**F. BHP-28-19** Public Hearing, review and action on a petition submitted by the Franklin Park Foundation for the nomination and designation of 112 E.

Washington Street D-2 Downtown Transitional District to D-2 with the S-4  
Local Historic District zoning overlay. (Ward 6)

**6. OTHER BUSINESS**

**A. Preservation Plan**

**B. Heritage Awards**

- i. **Tentative date**—Tuesday, May 12, 2020. Mclean County Museum of History.
- ii. **Tentative timeline for applications**—Deadline March 26, 2020. Review April 16, 2020.

**7. NEW BUSINESS**

**8. ADJOURNMENT**

**DRAFT MINUTES  
BLOOMINGTON HISTORIC PRESERVATION COMMISSION  
REGULAR MEETING,  
THURSDAY, FEBRUARY 20, 2020 5:00 P.M.  
COUNCIL CHAMBERS, CITY HALL  
109 EAST OLIVE ST.  
BLOOMINGTON, ILLINOIS**

**MEMBERS PRESENT:** Ms. Sherry Graehling, Ms. Ann Bailen, Mr. Paul Scharnett, Mr. John Elterich, Ms. Georgene Chissell, Chairperson Lea Cline

**MEMBERS ABSENT:** Mr. Levi Sturgeon

**OTHERS PRESENT:** Ms. Katie Simpson, City Planner; Ms. Casey Weeks, Assistant City Planner; Mr. George Boyle, Assistant Corporate Council

**I. CALL TO ORDER:** Chairperson Lea Cline called the meeting to order at 5:01 P.M.

**II. ROLL CALL.** Ms. Weeks called the roll. Six members were present and quorum was established.

**III. PUBLIC COMMENT.** No public comment

**IV. MINUTES.** The Commission reviewed the minutes of the December 19, 2019 meeting. Mr. Scharnett made a motion to approve as amended, Mr. Elterich seconded. The motion was approved (6-0-0) with Voice Vote.

**V. REGULAR AGENDA**

**A. BHP-05-20** Public Hearing, review and action on a Rust Grant for \$25,000 for rehabilitating the facade to its 1856-1857 design, 113 W. Front St.; 1856, contributing to the Downtown Historic District. (Ward 6)

Ms. Weeks gave the staff report recommending approval of the proposed design with the exception to the concrete overlay that is proposed to go over the historic brick façade. The concrete overlay does not allow the brick to breath which can damage the historic brick. The difference between concrete overlay and stucco is that stucco contains lime and allows moisture and minerals to escape from the brick and mortar, and the concrete overlay does not. The Secretary of Interior’s Standards number seven states, “Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.”

Mr. Douglas Johnson was present representing his father and applicant, Mark Johnson, and The Johnson Law Group. We would like to bring back the building to what it

historically looked like. This is the oldest block in the state designed by a professional architect.

Mr. Scharnett asked whether the brick was stuccoed or not. It is difficult to tell from the photo a discovery will need to be done and remove a portion of the existing cedar siding to determine if there is stucco on the brick. The applicant is proposing to replicate the building treatment at 115 W. Front Street that has the concrete overlay and arched windows on the second floor. Hardie board is already on the first floor of the façade. They are not proposing hardie board on the second and third floors.

Mr. Scharnett still has questions regarding why the applicant is proposing to use the concrete overlay rather than stucco. It is unclear how much of the original brick façade remains under the existing siding. If masonry is installed cost of the project would increase. Mr. Scharnett is concerned about the longevity of the materials that are proposed for the façade. Will taxpayer's money be used for construction that will last only ten years?

In the historic photo there are ornamental dart details under the cornice, if those are remaining, will they be preserved? The applicant will definitely preserve those ornamental details if they do exist. There does appear to be some remaining stucco on the bricks. If there is a concrete overlay over the brick, the face of the brick tends to peel. The architect will need to do more research in order to determine the existing conditions and materials of the façade and what is most appropriate to replace the façade.

The ground level of the building will not be altered. There is no historic precedent for a concrete overlay treatment. The buildings at 113 and 115 W. Front Street are two separate buildings and do not need look identical. The Commission will need more information on existing conditions and alternate treatments to make sure the façade treatment is appropriate. Mr. Scharnett will send an email with questions to the applicant so that questions can be answered for the meeting next month. Mr. John Elterich will conduct research at the Mclean County Museum for historic photos.

Ms. Graehling made a motion to table BHP-05-20 until next month in order to do a discovery of the existing conditions of the façade and determine alternate treatments to the concrete overlay, Ms. Chissell seconded. Role call vote: Ms. Sherry Graehling - Yes, Georgene Chissell - Yes, Ms. Ann Bailen - Yes, Mr. Paul Scharnett - Yes, Mr. John Elterich - Yes, Ms. Chairperson Lea Cline – Yes. The motion was approved (6-0-0)

**B. BHP-06-20** Public Hearing, review and action on a Funk Grant for \$5,000.00 to cover the labor to replace the roof at 410 E. Walnut St., John A Kerr-Frank Hamilton House; Eastlake influence, c1874 (Ward 4)

Ms. Weeks gave the staff report recommending approval of the Funk Grant covering the labor to replace the roof at 410 E. Walnut St. The COA was approved via a subcommittee in January.

Shelley Pysell owner and applicant spoke at the meeting. Ms. Pysell replaced the porch roof with similar material that was previously there. Because of the historic



nature of the house and increased costs and challenges associated with replacing the roof, the Commission has awarded past grants for labor minus the material cost of the asphalt shingles. Ms. Graehling mentioned the numerous slopes and peaks on this roof creating challenges and increased cost to replace it.

Mr. Scharnett made a motion to approve BHP-06-20 for a Funk Grant to cover eligible expenses associated with the labor to replace the roof in the amount of \$5,000, Ms. Chissell seconded. Role call vote: Ms. Sherry Graehling - Yes, Ms. Ann Bailen - Yes, Mr. Paul Scharnett - Yes, Mr. John Elterich - Yes, Ms. Georgene Chissell - Yes, Chairperson Lea Cline – Yes. The motion was approved (6-0-0)

## **VI. OTHER BUSINESS:**

### **A. Preservation Plan**

- i. Finalized logo
- ii. Review and approve Steering Committee (List enclosed)

Ms. Graehling made a motion to approve the Community Preservation Plan steering committee list and logo, Ms. Chissell seconded. Approved by voice vote (6-0-0).

The Lakota Group consultants will be in Bloomington for about four days, and staff has scheduled meetings for listening sessions in order to get feedback from the community. HPC members are invited to attend one of these listening sessions. Please encourage neighborhood associations and underserved populations of the community to attend. Ms. Chissell will forward invitations to churches. In order to prevent a violation of the Open Meetings Act there cannot be three HPC members at a meeting.

## **VII. NEW BUSINESS:**

### **A. Heritage Awards**

- i. **Tentative date**—Tuesday, May 12, 2020. Mclean County Museum of History.
- ii. **Tentative timeline for applications**—Deadline March 26, 2020. Review April 16, 2020.

Please review the nomination form to make any necessary changes before it is posted. Can we contact previous applicants, so they may apply again? The nominations will be reviewed and chosen at the April meeting, so they can be presented on May 12<sup>th</sup> at the awards ceremony in the McLean County History Museum. We may also want to do a recognition at City Council between April and May.

Levi Sturgeon's term expires at the end of April. If you know someone who would like to apply for appointment, the application is on the City website.

Mr. Scharnett attended a workshop for building codes and historic preservation with Mike Johnson a preservation architect, Frank Heitzman, and John Curley in coordination with the Association for Preservation Technology International, Codes and Standards Technical Committee. The workshop focused on accessibility, fire safety, and other building code regulations. Workshop attendees discussed issues like the Illinois State Capital building previously had a guardrail on the front stairs which was removed, since it is not historically accurate. The workshop also addressed energy conservation codes.

Mr. Scharnett also spoke with Lisa Dichiera of Landmarks Illinois regarding the challenge of younger generations not being involved in historic preservation. We need to advocate for younger generations. There is a division in Bloomington The City of Aurora had implemented a Chapter 34 and now Chapter 14 survey of infill buildings in which buildings are surveyed using a point system for a compliance path that helps to look at code regulations. It goes through and allows alternatives to building code regulations for historic buildings. The city then retains the survey documents for future investors to incentivize economic development.

Preservation month is May, Ms. Weeks encouraged Commission members to organize and promote historic preservation at the farmer's market giving tours or promoting dining in history at restaurants in historic buildings.

The status of the local designation of the State Farm building will be on hold until March or April, probably March. The owner is waiting to get some plans in order.

Ms. Bailen heard from the owner of the White Place Heating Plant. There are a couple court proceedings that are ongoing. City staff and administration is working on determinations and doing outreach. The demolition delay is only a delay, and it is up to the property owner in how they want to comply by demolishing the building or selling it. The liens have stopped accruing. The City has about \$50,000 worth of liens on the property.

#### **VIII. ADJOURNMENT:**

Mr. Scharnett motioned to adjourn, seconded by Ms. Bailen. The motion was approved unanimously by voice vote (6-0-0). Adjourned at 6:21 PM.

Respectfully Submitted,  
Casey Weeks, Assistant City Planner

**CITY OF BLOOMINGTON**  
**REPORT FOR THE HISTORIC PRESERVATION COMMISSION**  
**Revised – March 19, 2020**

<b>CASE NO:</b>	<b>TYPE:</b>	<b>ADDRESS</b>	<b>SUBJECT:</b>	<b>REPORT BY:</b>
BHP-05-20	Rust Grant	113 W. Front St.	Rehabilitate facade	Casey Weeks, Assistant City Planner

<b>REQUEST:</b>	Rust Grant for \$25,000 for rehabilitating the facade to its 1856-1857 design, 113 W. Front St.; 1856, contributing to the Downtown Historic District.
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<b>STAFF RECOMMENDATION:</b>	113 W. Front St. is a non-contributing building in the Downtown District. It was built in 1856 in the period of significance for downtown. The work proposed is to rehabilitate the façade to the building’s appearance in 1856-1857 replacing the windows and removing the cedar siding on the 2 <sup>nd</sup> and 3 <sup>rd</sup> floors. Additional information is needed on the existing conditions of the façade to determine a proper treatment with stucco rather than the proposed concrete overlay to prevent damage to historic brick. The Rust Grant funds are intended to prioritize preservation and restoration of contributing and non-contributing buildings. <i>Staff recommends the Historic Preservation Commission grant the request for a <b>Rust Grant for \$25,000</b> to assist with the costs of façade rehabilitation.</i>
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**Figure 1** 113 W. Front Street

GENERAL INFORMATION

Owner and Applicant: Mark Johnson

PROPERTY INFORMATION

Existing Zoning: D-1 Central Business District  
Existing Land Use: Commercial/Office  
Property Size: 22'x 60' (1,320 ft<sup>2</sup>)  
PIN: 21-04-338-009

Historic District: Downtown Historic District  
Year Built: 1856  
Architectural Style: Italianate (loss of historic integrity)  
Architect: Rudolph Richter

SURROUNDING ZONING AND LAND USES

*Zoning*

North: D-1 Central Business District  
South: P-2 Public Lands and Institutions District  
East: D-1 Central Business District  
West: D-1 Central Business District

*Land Uses*

North: Apartments/Retail/Offices  
South: County Court House  
East: Retail/Offices  
West: Retail/Offices

Analysis:

Submittals

This report is based on the following documents, which are on file with the Community Development Department.

1. Application for Certificate of Appropriateness and Rust Grant
2. Proposed budget
3. Site Photos
4. Site Visit

BACKGROUND:

113 W. Front Street is in the Downtown Historic District. The building was constructed in 1856 and was listed as a contributing structure to the historic district in the National Register Nomination Form written in 1977. The building originally had an Italianate style facade with arched windows on the second and third floors. Building permit records show a remodel of the façade in 1988 to what exists today. Due to the loss of historic integrity in the building's façade, it would be considered a non-contributing building to the historic district today. Although, non-contributing buildings can be rehabilitated bringing them back to contributing status. The proposed design would bring the building back to contributing status, since the design is being replicated from a historic photograph and existing design of the building next door.

The subject property is part of Rounds Block which was once the center of commerce and social life in Bloomington. Bricklayer S.G. Rounds was the builder of this group of Italianate buildings designed by Prussian-born architect Rudolph Richter, who worked for Rounds and also designed the Benjamin & Schermerhorn building at 210 N. Center Street. The buildings in this block share

a common wall and make up the oldest known commercial block in Illinois designed by a professional architect.<sup>1</sup>

The owner/applicant is proposing rehabilitation of the façade's original architectural features visible from the street, including arched windows and concrete overlay. Rehabilitation of the façade includes removing the existing cedar siding, installing rounded windows on the second and third floors, and placing a concrete overlay on the facade.

From the application, "Demolition and removal of the existing wood cedar siding and square windows on the second floors of 113 W. Front St. Installation of new arched windows of the same design and style as the arched windows shown on the attached circa 1870s photograph of the Rounds Block obtained from the McLean County Historical Society. The exterior walls will be covered with a combination of concrete hardie board and a vertical concrete overlay for the purpose of restoring the 2<sup>nd</sup> and 3<sup>rd</sup> floor exterior façade to a new likeness of the block's inception in 1856-1857."

The Harriet Fuller Rust Façade program is geared to façade improvements ranging from minor repairs and painting to complete façade renovation and structural improvements needed to prevent the façade from safety failures.

The applicant is requesting a **Rust Grant in the amount of \$25,000.00** to fund rehabilitation of the facade. There is a rendering of the proposed façade by architect James Pearson of Pearson Design Group, LLC, in the application. The overall budget for the project is \$90,000. The Rust Façade Program funds fifty percent of the total project up to \$25,000 per project or \$50,000 per project for a building the HPC determines is in an extreme and dangerous state of disrepair.

#### PROJECT DESCRIPTION

**Revised Project Plans** – the applicant submitted revised plans and additional historic photos with dates showing the façade alterations made over time (See photos).

From the Revised Plan the General Contractor Notes:

5. Provide ½" CDX Plywood sheathing over original and new wood studs, needed to frame the new window openings.
6. Per discovery by the Owner of the pre-cedar siding renovation, a proper Cementous stucco parging of this bas wall composition (presumed to be masonry brick wythes). Provide 7" wide protruded accent arches, as shown over the new windows as well as a protruded sill, 6" high by window width, to match the west elevation on Center Street and coat the accents with the same Cementous stucco material.
8. Contractor shall provide (3) LVL wood lintel framing (11 ¼" deep and x 1 ¾") in the existing wood stud exterior wall or new wall required to frame the arched window opening  
**OR/AND** provide a steel, primed lintel angle 4" X 3" X ¼" across the new window opening, set in the exterior 4" wall wythe above the new arched window locations.

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<sup>1</sup> Freimann, Michael. *Standing on the Corner: A Tour of the Architecture of Downtown Bloomington*. (June 1999). McLean County Historical Society.

The applicant is proposing the Cementous stucco material be applied over the façade framing and existing brick. An email from the previous owner implies that historic brick remains underneath the cedar siding. It is difficult to determine the extent and condition of the brick façade without removing and damaging the siding. It is out of the applicant's budget for this proposed project to replace the missing masonry of the façade wall.

Staff has made it clear to the applicant that the City continues to support this project and is looking into further incentives including those with being in the Enterprise Zone. Since the subject property is included in the Illinois Enterprise Zone, 6.25% state sales tax and local sales tax would be exempt on building materials.

Rust Grant includes additional funding up to \$20,000.00 for documented costs associated with architectural and engineering plans to determine its safety and structural integrity. Staff recommends awarding the Rust Grant for documented costs up to \$20,000 associated with architectural plans to find an alternative façade treatment and inspect the structural integrity of the building if the applicant agrees to work with staff and professionals to determine an alternate treatment to Cementous stucco material.

#### **From First Set of Architectural Plans**

According to the architect's specifications, the arched windows will be "Marvin, Pella or others, manufactures of Commercial/Residential Windows: Double Hung, Aluminum exterior covering, wood interior finish. If possible, factory applied finish exterior color, insulated glass, 3/8" thick, UV protection. Verify size to closely match existing 3 windows on 2<sup>nd</sup> floor, Wall thickness to be 5 1/2", verify with existing wall construction, Provide wall fins for attachment. Contactor to provide flashing membrane at all perimeter surfaces of window to the wall construction, top, sides, and bottom."

Staff attempted to contact Mr. Johnson to get more information on the existing conditions of the façade and more details on the façade treatment consisting of the concrete overlay and hardie board. Concrete overlay is not compatible with historic brick, since it does not allow the brick to breathe like stucco does. The difference between concrete overlay and stucco is that stucco contains lime. Additional information is needed to determine a compatible façade treatment with the existing historic materials.

The applicant submitted two estimates for façade rehabilitation. The first estimate from Pro Exterior Siding specifies Demolition of wood siding and windows on second and third floors, New framing required for new windows and restored exterior walls per architects plans, Provide and install new Pella windows per architects plans, Insulate around and for new exterior walls, Install concrete Hardie board and concrete vertical overlay, Bend and install custom aluminum trim around newly installed windows to seal openings, Bend and install custom aluminum trim to finish new façade installed, total estimate \$73,300.00.

The second bid is from Kenneth Shuell Building and Remodeling. The estimated proposal includes Demolition – Remove wood cedar siding and windows on second and third floors of building. Remove interior trim as required for new window installation. Construction – Construct

new exterior walls to include framing in 8 new windows of Pella brand per sized and priced of like kind to upper windows at 115 W. Front Street. Install round top windows and build upper and lower sashes in Sherwood Green aluminum cladding. Interior wood trim will be cased with pine. Exterior of James Hardie concrete board with vertical concrete overlay as needed. Furnish all labor and materials to insulate and caulk windows at masonry opening to ensure weather tight installation. Furnish and install sill flashings as required. Furnish and install all aluminum around windows. Painting – stain window interior and trims. Furnish all labor and material to varnish interior of newly installed windows including trims. Furnishing and applying up to two coats of paint on exterior where needed pursuant to owner’s direction. The total for this estimate is \$82,500.00.

Staff is reluctant in recommending one estimate of work over another due to the need of additional information on the existing façade and proposed façade treatment. Online research did not reveal examples of historic rehabilitation work completed by Pro Exterior Siding or Kenneth Shuell Building and Remodeling.

In accordance with the Rust Grant guidelines, employees of the project are required to receive the prevailing wage. In McLean County, as per the Department of Labor, the prevailing wage for a laborer is \$30.05/hr. The minimum hourly rate paid will need to match the State’s prevailing wage guidelines for McLean County.

**Precedence - Rust Grant at 115 W. Front Street – May 2016**

The City of Bloomington received a Rust Grant application for 115 W. Front Street that came before the HPC in May 2016. The grant contained two estimates for work. The estimate that was approved was to repair and preserve existing stucco by removing cracked/damaged stucco on upper south side of the building and replacing damaged areas to preserve the historical aesthetics of the Front Street building. This estimate also included a complete two tone painting of the entire exterior of the building to preserve the building’s original façade and to match the stucco repairs with the existing stucco that will remain on the exterior. J.C. Home Builders, Inc., Normal, IL, gave this bid.

The second estimate that was not approved included applying Dryvitt to the west and south sides of the building. Dryvitt is actually a name of a stucco manufacturer, not an actual stucco system specifically. Many people refer to synthetic stucco as “Dryvitt.” Synthetic stucco is a finish coat material that is usually used as the finish coat on an EIFS (Exterior Insulation and Finish Systems) wall cladding and it is designed to keep water from penetrating the wall. According to NPS Preservation Brief 22, “While some masonry contractors may, as a matter of course, suggest that a water-repellent coating be applied after repairing old stucco, in most cases this should not be necessary, since color washes and paints serve the same purpose, and stucco itself is a protective coating.” The cost to apply Dryvitt to the entire structure was almost double the cost to restore the stucco. Kenneth Shuell of Absolute Remodeling & Construction, Inc., gave this bid.

1. All masonry work to be in accordance with the Masonry Institute of America repair and restoration guidelines.
2. Repair rather than replace masonry materials unless it is technically infeasible to do so.
3. If replacement of masonry materials is necessary, replacement materials shall be the same color, texture, and type of material as that which is being replaced, unless it is technically infeasible to do so.
4. Do not sandblast masonry.
5. Do not high-pressure water blast masonry.
6. Tuck-pointing shall be done following National Park Service Preservation Brief 2 and Illinois Preservation Brief 10.
7. Use cement-lime mortars appropriate to the type of masonry to be tuck-pointed.
8. Do not use premixed “masonry cements” that contain no lime for tuck-pointing.
9. Joint profiles and colors of tuck-pointing shall match existing historic tuck-pointing.
- 10. Do not parge or apply stucco to masonry surfaces that were not historically parged or stuccoed.**
- 11. Do not install synthetic siding over masonry materials.**

#### G. Siding and Soffit Policy

1. Repair rather than replace siding and soffit materials unless it is technically infeasible to do so.
2. If replacement of siding and soffit materials is necessary, replacement materials shall be the same color, texture, and type of material as that which is being replaced, unless it is technical infeasible to do so.
3. Do not sandblast siding and soffits.
4. Do not high-pressure water blast siding and soffits.
- 5. Where synthetic siding or soffits exist, it is recommended to remove it and repair the original historic siding under it, unless it is technically infeasible to do so.**
6. The Commission will not approve new synthetic siding or soffits.
7. No new trim or moldings may be added to historic exterior surfaces unless it can be shown that such trim would have been historically used for that type of building.

#### H. Window Policy

6. Replacement of non-original windows that have replaced the original windows at some time in the past.
  - a. Where new replacement windows are proposed to replace non-original windows in a building, the design and detail of the replacement window shall be based on the documented configuration of the building’s original windows. Such documentation may be obtained from historic photographs, drawings, or the design of the new replacement windows may be based on window configurations typical to the period of significance of the building.
  - b. Where non-original windows are historic themselves and contribute to the history or significance of the building (‘changes over time’), or are considered as having historic significance themselves, the design of the new replacement



windows may be based on the existing non-original windows. Such cases will be determined on an individual basis.

## [NPS Preservation Brief 11 – Rehabilitating Historic Storefronts](#)

### **Designing Replacement Storefronts**

Where an architecturally or historically significant storefront no longer exists or is too deteriorated to save, a new front should be designed which is compatible with the size, scale, color, material, and character of the building. Such a design should be undertaken based on a thorough understanding of the building's architecture and, where appropriate, the surrounding streetscape. For example, just because upper floor windows are arched is not sufficient justification for designing arched openings for the new storefront. The new design should "read" as a storefront; filling in the space with brick or similar solid material is inappropriate for historic buildings. Similarly, the creation of an arcade or other new design element, which alters the architectural and historic character of the building and its relationship with the street, should be avoided. The guidelines on page 8 can assist in developing replacement storefront designs that respect the historic character of the building yet meet current economic and code requirements.

### **Guidelines for Designing Replacement Storefronts**

1. **Scale:** Respect the scale and proportion of the existing building in the new storefront design.
2. **Materials:** Select construction materials that are appropriate to the storefronts; wood, cast iron, and glass are usually more appropriate replacement materials than masonry which tends to give a massive appearance.
3. **Cornice:** Respect the horizontal separation between the storefront and the upper stories. A cornice or fascia board traditionally helped contain the store's sign.
4. **Frame:** Maintain the historic planar relationship of the storefront to the facade of the building and the streetscape (if appropriate). Most storefront frames are generally composed of horizontal and vertical elements.
5. **Entrances:** Differentiate the primary retail entrance from the secondary access to upper floors. In order to meet current code requirements, out-swinging doors generally must be recessed. Entrances should be placed where there were entrances historically, especially when echoed by architectural detailing (a pediment or projecting bay) on the upper stories.
6. **Windows:** The storefront generally should be as transparent as possible. Use of glass in doors, transoms, and display areas allows for visibility into and out of the store.
7. **Secondary Design Elements:** Keep the treatment of secondary design elements such as graphics and awnings as simple as possible in order to avoid visual clutter to the building and its streetscape.

A restoration program requires thorough documentation of the historic development of the building prior to initiating work. If a restoration of the original storefront is contemplated, old photographs and prints, as well as physical evidence, should be used in determining the form and details of the original. Because storefronts are particularly susceptible to alteration in response to changing marketing techniques, it is worthwhile to find visual documentation from a variety of periods to have a clear understanding of the evolution of the storefront. Removal of later additions that contribute to the character of the building should not be undertaken.

## Preservation Brief 22 – The Preservation and Repair of Historic Stucco

### **When Total Replacement is Necessary**

Complete replacement of the historic stucco with new stucco of either a traditional or modern mix will probably be necessary only in cases of extreme deterioration— that is, a loss of bond on over 40-50 percent of the stucco surface. Another reason for total removal might be that the physical and visual integrity of the historic stucco has been so compromised by prior incompatible and ill-conceived repairs that patching would not be successful.

When stucco no longer exists on a building there is more flexibility in choosing a suitable mix for the replacement. Since compatibility of old and new stucco will not be an issue, the most important factors to consider are durability, color, texture and finish. Depending on the construction and substrate of the building, in some instances it may be acceptable to use a relatively strong cement-based stucco mortar. This is certainly true for many late-nineteenth and early-twentieth century buildings, and may even be appropriate to use on some stone substrates even if the original mortar would have been weaker, as long as the historic visual qualities noted above have been replicated. Generally, the best principle to follow for a masonry building is that the stucco mix, whether for repair or replacement of historic stucco, should be somewhat weaker than the masonry to which it is to be applied in order not to damage the substrate.

### **Rust Grant – Type of Assistance**

Property owners or business owners can receive grants up to 50% of the total cost of qualified facade rehabilitation, repair or restoration, and/or structural work, with a maximum grant amount of \$25,000 per project or \$50,000 per project for a building the Historic Preservation Commission determines is in an extreme and dangerous state of disrepair. Only one (1) grant per fiscal year is allowed per building regardless of the number of property or business owners for such building. Any one applicant may request up to two (2) grants per year but the grants must be for separate buildings.

The total grant amount as limited above may be increased up to an additional \$20,000 to pay for documented costs associated with a structural inspection(s), analysis and reporting of a building to determine its safety and structural integrity. This additional \$20,000 is to be used only to pay for such inspection(s), analysis and reporting and not for any improvements or changes to the building or site, however such costs will be funded at 100 percent and are not limited to the 50 percent rule described above.

**It is not the purpose of the program to finance ongoing improvements which may be considered part of the building's regular maintenance. Each eligible improvement will be funded by the program only once every fifteen (15) years. However, the applicant may present the project in phases with completion scheduled within two years. Each phase shall involve improvements not included in any other phase of the project. Reimbursement may then be approved for each phase. Each phase requires a separate application and funding in each fiscal year.**

### Analysis

**Action by the Historic Preservation Commission:** The City of Bloomington Historic Preservation Commission shall make a determination regarding the appropriateness of the

proposed work based on the architectural review guidelines and Rehabilitation Standards from the Secretary of the Interior

**FINDINGS OF FACT:**

For each Certificate of Appropriateness and/or Grant awarded the Historic Preservation Commission shall be guided by the following general standards in addition to any design guidelines in the ordinance designating the landmark or historic district:

- 1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose;* The building's use as office space is compatible. **The standard is met.**
- 2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;* The scope of work involves rehabilitating the building's façade to its 1856-1857 appearance, and the removal of non-historic materials and features. The proposed Cementous stucco material is not compatible with historic brick and will cause further damage to historic materials. **The standard is not met.**
- 3. All buildings, structures, and sites shall be recognized as products of their own times. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;* The 1856-1857 appearance of the building is appropriate to its construction date and design as depicted in the historic photograph. **The standard is met.**
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;* The existing siding and windows on the façade are not historically accurate to the building's period of significance. The proposed rehabilitation will bring the building back to a more historically accurate depiction of its period of significance. **The standard is met.**
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity;* Cementous stucco material applied to the historic brick façade will cause damage to the masonry and the building's structural integrity. **The standard is not met.**
- 6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures;* Cementous stucco material and wood framing does not

match existing masonry. Although the overall proposed design is supported with historic photos, the proposed façade treatment will cause further damage to the brick and historic integrity of the structure. **The standard is not met.**

7. *The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken; **The standard is not applicable.***
8. *Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project; **The standard is met.***
9. *Contemporary design for alteration and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood, or environment. (Ordinance No. 2006-137, Section 44.11-5D) The contemporary proposed design to use Cementous stucco material over the brick will alter the historic material due to the material not allowing moisture to escape from the brick causing it to break. **The Standard is not met.***

STAFF RECOMMENDATION: 113 W. Front St. is a contributing building in the Downtown Historic District. The proposed design is compatible with the historic context and the period of significance for downtown. Additional information is needed on the existing conditions of the façade to determine a proper treatment with stucco rather than a concrete overlay to prevent damage to historic brick. *Staff recommends awarding the Rust Grant for documented costs up to \$20,000 associated with architectural plans to find an alternative façade treatment and inspect the structural integrity of the building if the applicant agrees to work with staff and professionals to determine an alternate treatment to Cementous stucco material.*

Respectfully Submitted,

Casey Weeks  
Assistant City Planner

Attachments: Photos of building, Historic photos, Revised Architectural Plan, Email statement from applicant, Rust Application, and Scope of Work



Figure 2 The subject property at 113 W. Front Street.



Figure 3 115 and 113 W. Front Street Johnson Law Group



Figure 4 111-115 W. Front Street Streetfront facades





**Figure 5** Proposed replacement windows at 113 W. Front St. will match the ones pictured here at 115 W. Front Street.



**Figure 6** Windows on second floor at 115 W. Front Street.



Figure 7 Window at 115 W. Front Street.



Figure 8 West elevation of 115 W. Front Street.



Mark D. Johnson  
Brendan Bukalski  
Kevin Sanborn  
Todd Ringel  
Douglas B. Johnson  
David Rumley  
Eric Schwing  
Donald Knuckey, Jr.



**JOHNSON LAW GROUP LLC**  
Attorneys at Law

Peoria, IL Office  
456 Fulton Street  
Suite #140  
Peoria, IL 61602  
Phone: (309) 673-3822

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236 North Water Street  
Suite #330  
Decatur, IL 62523  
Phone: (217) 424-4030

Springfield, IL Office  
1100 S. 5th Street  
Springfield, IL 62703  
Phone: (217) 528-8113

*Law Firm Administrator*  
Brent R. Wright

*Investigator*  
Robert E. Hunter

**Main Office**  
115 West Front Street  
Bloomington, IL 61701  
Phone: (309) 827-3670  
Fax: (309) 827-3991

March 6, 2020

Honorable Members of  
Historic Preservation Commission  
City of Bloomington, IL

Dear Honorable Members:

Based upon certain Commission Member's suggestions and comments at the last BHPC meeting, we have undergone some additional due diligence including meeting with Architect James Pearson and certain other members of the community to research additional information for proposed revisions to our Harriett Fuller Rust Façade Grant application. I have attached some additional pictures of the subject property that we were able to locate (9 copies). The attached photos include a description of the prior façade and materials and the timeline of the photos. I have also attached James Pearson's amended architectural plans with further revisions and details (9 copies) to assist the Commission Members in review of our application.

We are hopeful that our application will proceed to vote and be approved at the March 19 meeting. Doug Johnson and James Pearson are expected to be in attendance on our behalf. Thank you very much for your consideration of our application.

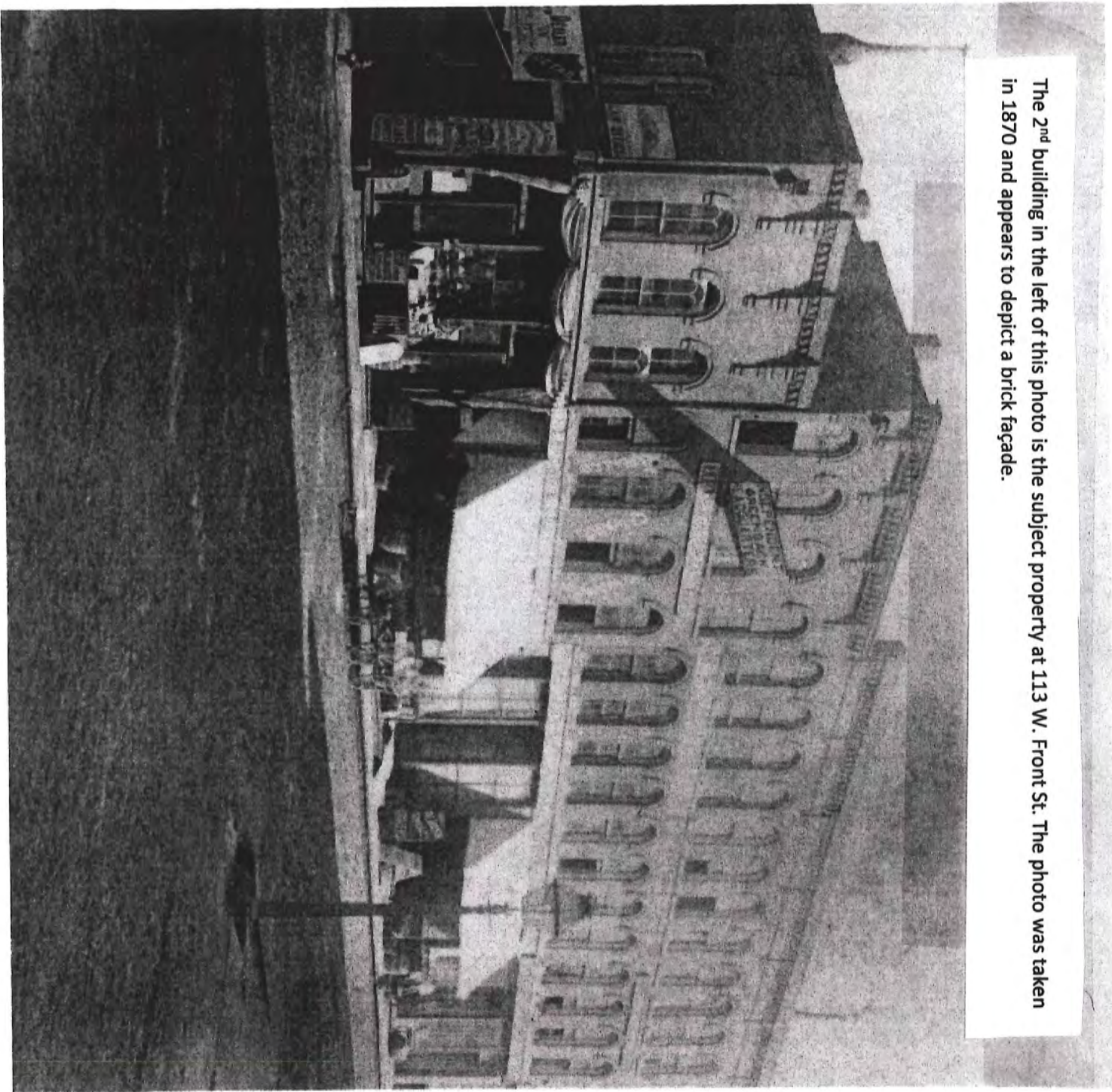
Sincerely,

  
Mark D. Johnson

Enclosures

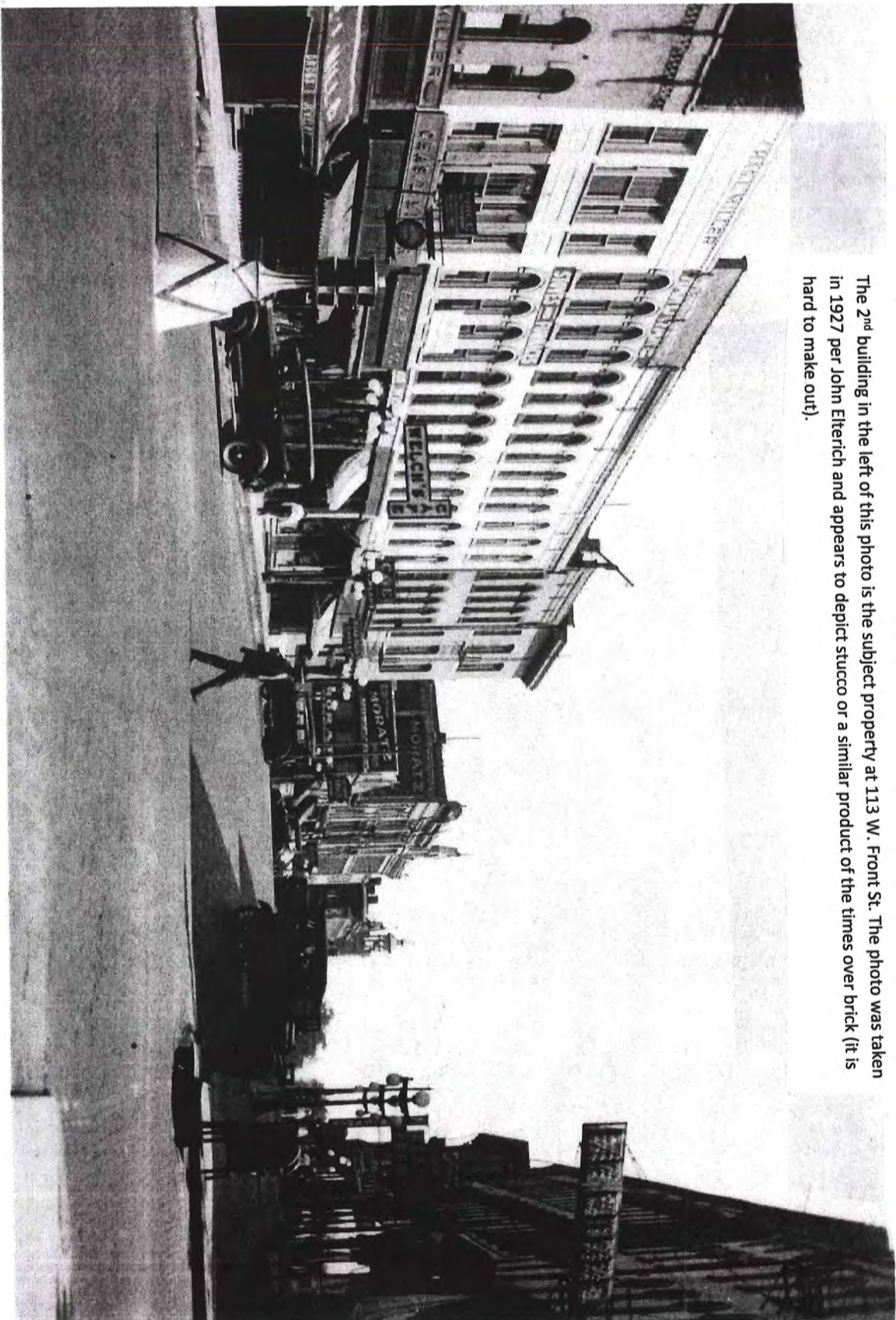
- as indicated above

The 2<sup>nd</sup> building in the left of this photo is the subject property at 113 W. Front St. The photo was taken in 1870 and appears to depict a brick facade.

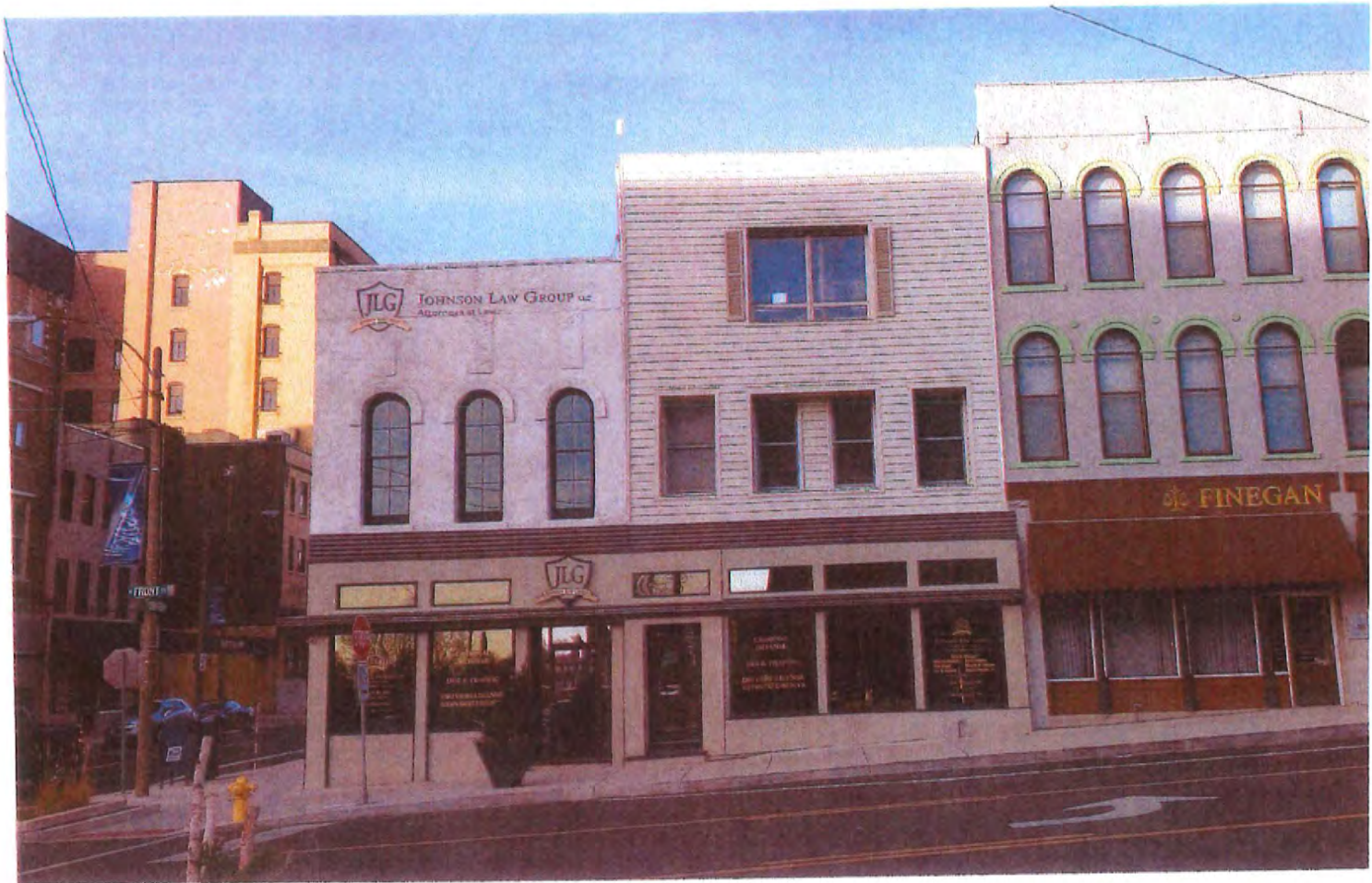




The 2<sup>nd</sup> building in the left of this photo is the subject property at 113 W. Front St. The photo was taken in 1927 per John Elterich and appears to depict stucco or a similar product of the times over brick (it is hard to make out).







Based upon a review of available historical pictures of 113 W. Front St. it is believed that the current upper façade of the building consists of underlying brick covered by stucco or a similar product of the times and later covered by cedar siding.



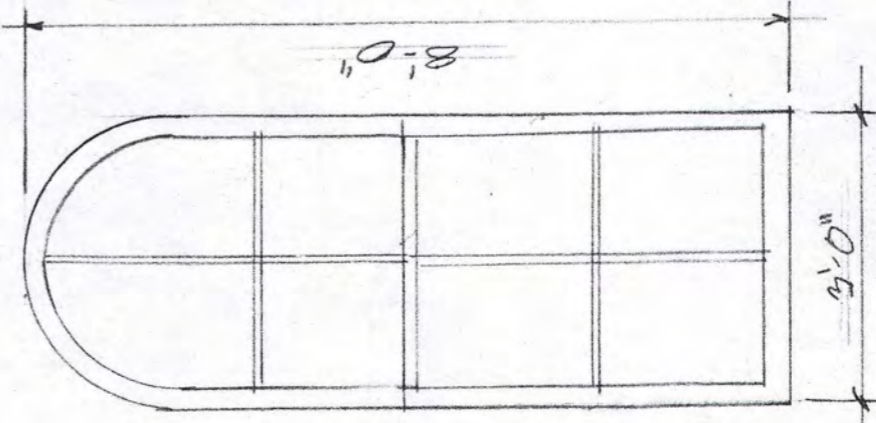
**General Contractor Notes: (Revised March 5, 2020. Nos 5, 6, 8.)**

- Contractor shall remove existing 6" exposed cedar siding and support furring strips.
- Contractor shall remove all existing windows and siding attachment trim.
- Contractor shall notify Owner of the condition of the existing wall and locate where the new window locations will be in relation to the recommended spacing by the Architect as shown on the south elevation, A-1 sheet.
- Contractor shall build new wood stud walls (probably 2 x 6) around the rough openings required for the two (2) rows of arched windows at the second and third floors.
- Provide 1/2" CDX Plywood sheathing over original and new wood studs, needed to frame the new window openings.
- Per discovery by the Owner of the pre-cedar siding renovation, a proper Cementitious stucco paraging of this base wall composition (assumed to be masonry brick wythes). Provide 7" wide protruded accent arches, as shown over the new windows as well as a protruded sill, 6" high by window width, to match the west elevation on Center Street and coat the accents with the same Cementitious stucco material.
- All interior finishing work, such as wood trim and base boards, shall be directed by the Owner. Interior 5/8" dry wall over new stud work over 6 mil vapor barrier over studs. Insulate stud wall with full 6 1/2" thick fiberglass insulation (R-22).
- Contractor shall provide (3) LVL wood lintel framing (11 1/2" deep x 1 3/4") in the existing wood stud exterior wall or new wall required to frame the arched window opening  
OR (AND) provide a steel, primed lintel angle 4" x 3" x 1/4" across the new window opening, set in the exterior 4" wall wythe above the new arched window locations.

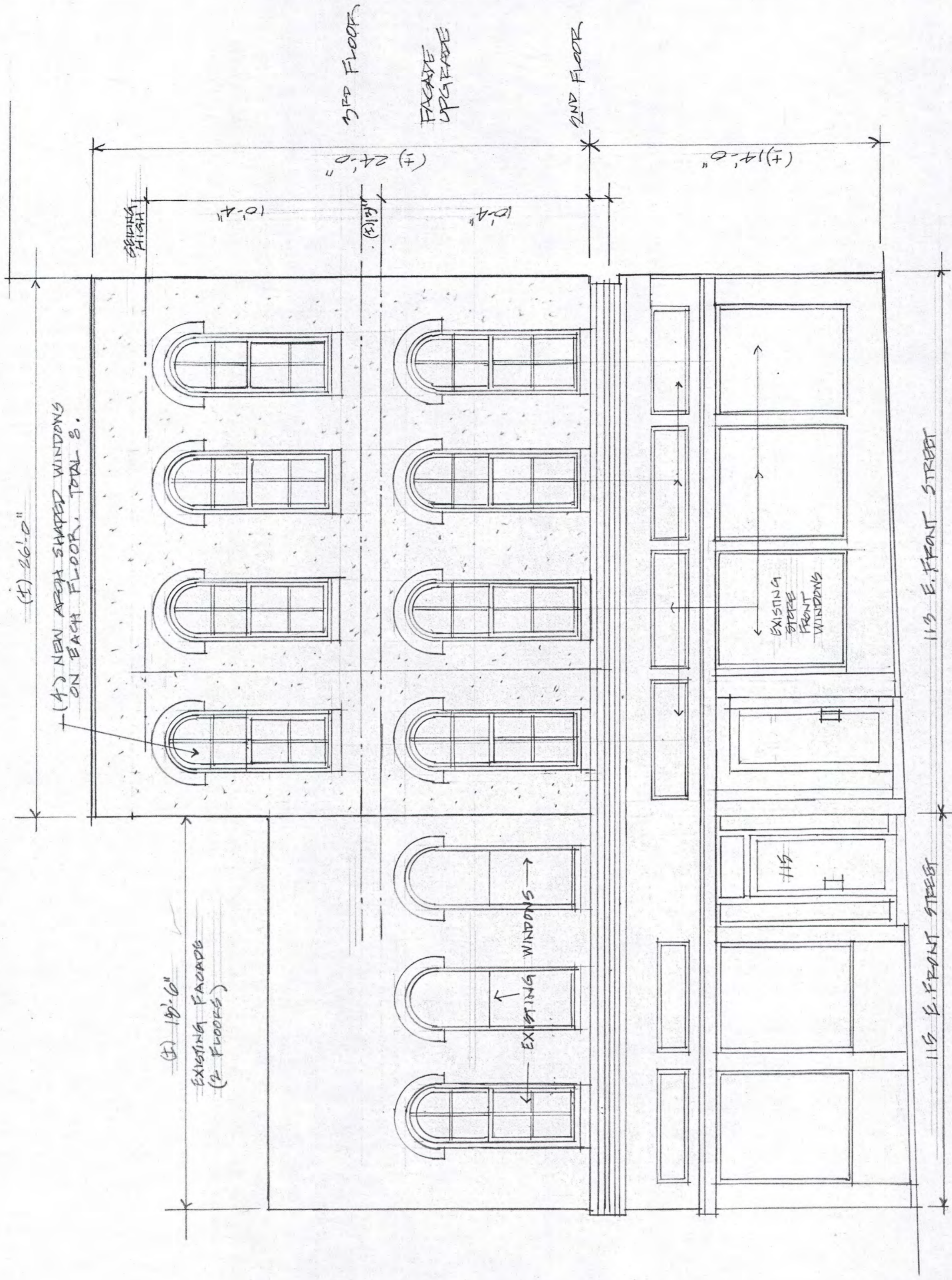
January 2020

**Arched Windows**

- Select Marvin, Pella or others, manufacturers of Commercial/Residential Windows: Double Hung.
- Aluminum exterior covering, wood interior finish.
- If possible, factory applied finish exterior color.
- Insulated glass, 3/8" thick, UV protection.
- Verify size to closely match existing 3 windows on 2<sup>nd</sup> floor. Wall thickness to be 5 1/2", verify with Existing wall construction. Provide wall fins for Attachment.
- Contractor to provide flashing membrane at All perimeter surfaces of window to the wall Construction, top, sides and bottom.



(8) NEW ARCHED WINDOWS



SOUTH ELEVATION

Professional seal and stamp for Pearson Design Group, L.L.C. The seal includes the text: 'STATE OF ILLINOIS', 'Pearson Design Group, L.L.C.', 'No. 184-005243', 'Exp. 04-30-21', '1-16-20', 'PROFESSIONAL DESIGNER'. A handwritten number '3-5-20' is present next to the seal.

Project information block containing: 'FACADE UPGRADE @ 113 E. FRONT STREET', 'JOHNSON LAW GROUP, LP.', 'SCALE: 1/4" = 1'-0"', 'APPROVED BY: [Signature]', 'DATE: 16 JAN 20', 'DRAWN BY: PEARSON', 'REVISED 5 MAR 20', 'PEARSON DESIGN GROUP, LLC', '(309) 530-3582', 'FACADE ELEVATION', and 'DRAWING NUMBER A-1'.



## Re: Rust Grant Revision

Mark Johnson [REDACTED]

Wed 3/11/2020 11:04 AM

To: Casey Weeks <cweeks@cityblm.org>

Casey

I recently communicated with the prior owner of the building, Alan Weintraub, who is located in Scottsdale AZ. Pursuant to Mr. Weintraub's recollection, he advised that brick is under the cedar siding. This coincides with the most recent picture that we were able to recently find from 1927. Mr. Weintraub does not recall the condition of the brick. We suspect that the brick might likely be damaged as a result of the prior owner installing the cedar siding over the brick in the 70's. We have not removed any of the cedar siding during our due diligence because to do so would damage the existing facade and be left damaged if we do not proceed with the project. As an aside, we have gotten cold feet on this proposed project due to its large and expensive scope and if the city is not willing to assist in financing the project we will likely abort the project which will be unfortunate because 113 W. Front's facade appears to be the only eyesore on the block.

Assuming the brick is damaged underneath, I would like to obtain your opinion on appropriate repairs to the facade short of rebricking the facade b/c that would not likely be feasible cost wise. It appears that Paul Scharnett does not like our idea of applying a vertical concrete overlay like we did on our building at 115 W. Front St. I am open to suggestions as to the best possible restoration and preservation fix on this proposed project. I am currently out-of-state so please call me on my cell phone at your convenience. 309-826-8835

Mark

Mark D. Johnson; Esq.  
Johnson Law Group LLC  
115 W. Front St.  
Bloomington, IL 61701

[REDACTED]  
(309) 827-3991 (fax)

On Tue, Mar 10, 2020 at 11:46 AM Casey Weeks <[cweeks@cityblm.org](mailto:cweeks@cityblm.org)> wrote:

Good morning Mr. Johnson -

I received the revised plans for 113 W. Front Street Rust Grant applicaon.

When you conducted the discovery of the facade were you able to determine what porons of the brick facade remain intact? Is the material on the facade under the cedar siding brick? If so, what porons?

Thank you,

# HARRIET FULLER RUST FAÇADE GRANT APPLICATION

## City of Bloomington Historic Preservation Commission

The program provides funding for up to 50% of the total cost of eligible exterior projects within Bloomington's central downtown district. This grant offers a maximum award amount of \$25,000 per project. \$50,000.00 may be awarded to buildings determined by the Historic Preservation Commission to be in extreme and dangerous states of disrepair.

## ELIGIBILITY

If your project does not meet all of the factors listed below, it may be ineligible for funding:

- Property is within the program's target area
- The project is an **eligible** preservation, restoration or rehabilitation improvement:
  - Brick cleaning and tuck pointing
  - Window restoration
  - Painting
  - Restoration or original architectural features visible from the street
  - Signs
  - Remodeling window display areas
  - Exterior lighting
  - Window and/or door replacement
  - Awnings
  - Eligible non-façade work such as roof repairs/replacements, elimination of sidewalk vaults, chimney, foundations and other structural components, drainage systems, and tuck pointing
  - Detailed architectural design work
  - Structural inspection or analysis by a licensed architect or engineer
  - Asbestos and/or lead paint removal
- I am the owner of the property, or can provide consent from the owner.
- Work on this project has not been started nor been completed
- The project complies with the City of Bloomington Architectural Review Guidelines
- This project includes prevailing wages for labor

## APPLICATION

**Property Address:** 113 W. Front St., Bloomington, IL 61701

**Year Built** 1856

**Architectural Style:** Italianate Style building

**Architect:** James Pearson

**Scope of work (please select the option that best describes the type of work):**

Restoration of original architectural features visible from the street, including arched windows and concrete overlay.

**Cost of Proposed Work (Estimate 1):** \$73,300.00

**Cost of Proposed Work (Estimate 2):** \$82,500.00

**Grant Amount Requested:** \$25,000.00

See Attached

- attach photo of property front elevation here



**Detailed Description of Proposed Restoration Work:**

See Attached

**Project Start Date:** 4/1/2020

**Expected Project Completion Date:** 5/1/2020

**Please attach the following information to the application.**

- **Design plan**
- **Outline work specification prepared by an architect (if applicable)**
- **Overall budget for the project**
- **Minimum two (2) estimates for the project**
- **Sample materials (if possible)**
- **Historic photos of the subject property showing the appropriateness of improvements (when possible)**

**Applicant Name:** Mark D. Johnson

**Applicant Address:** 115 W. Front Street, Bloomington, IL 61701

**Phone:** [REDACTED]

**Email:** [REDACTED]

**Applicant Signature** [REDACTED]

**Date** 1/17/20

---

**RETURN TO:**

**City Planner**  
**City of Bloomington Community Development Department**  
**115 E. Washington St. Suite 201**  
**Bloomington, IL 61701**  
**Phone: (309) 434-2341**  
**Email: [ksimpson@cityblm.org](mailto:ksimpson@cityblm.org)**

**A detailed description of the proposed restoration follows.**

Demolition and removal of the existing wood cedar siding and square windows on the 2<sup>nd</sup> and 3<sup>rd</sup> floors of 113 W. Front St. Installation of new arched windows of the same design and style as the arched windows shown in the attached circa 1870 photograph of the Rounds Block obtained from the McLean County Historical Society. The exterior walls will be covered with a combination of concrete hardy board and a vertical concrete overlay for the purpose of restoring the 2<sup>nd</sup> and 3<sup>rd</sup> floor exterior façade to a near likeness of the block's inception in 1856-1857.

The design plan and outline for the work specification is contained in the attached architectural plan provided by architect James Pearson of Pearson Design Group LLC. The overall budget for the project is \$90,000.00. Two contractor estimates for the project are attached. Current and historical photos are attached.



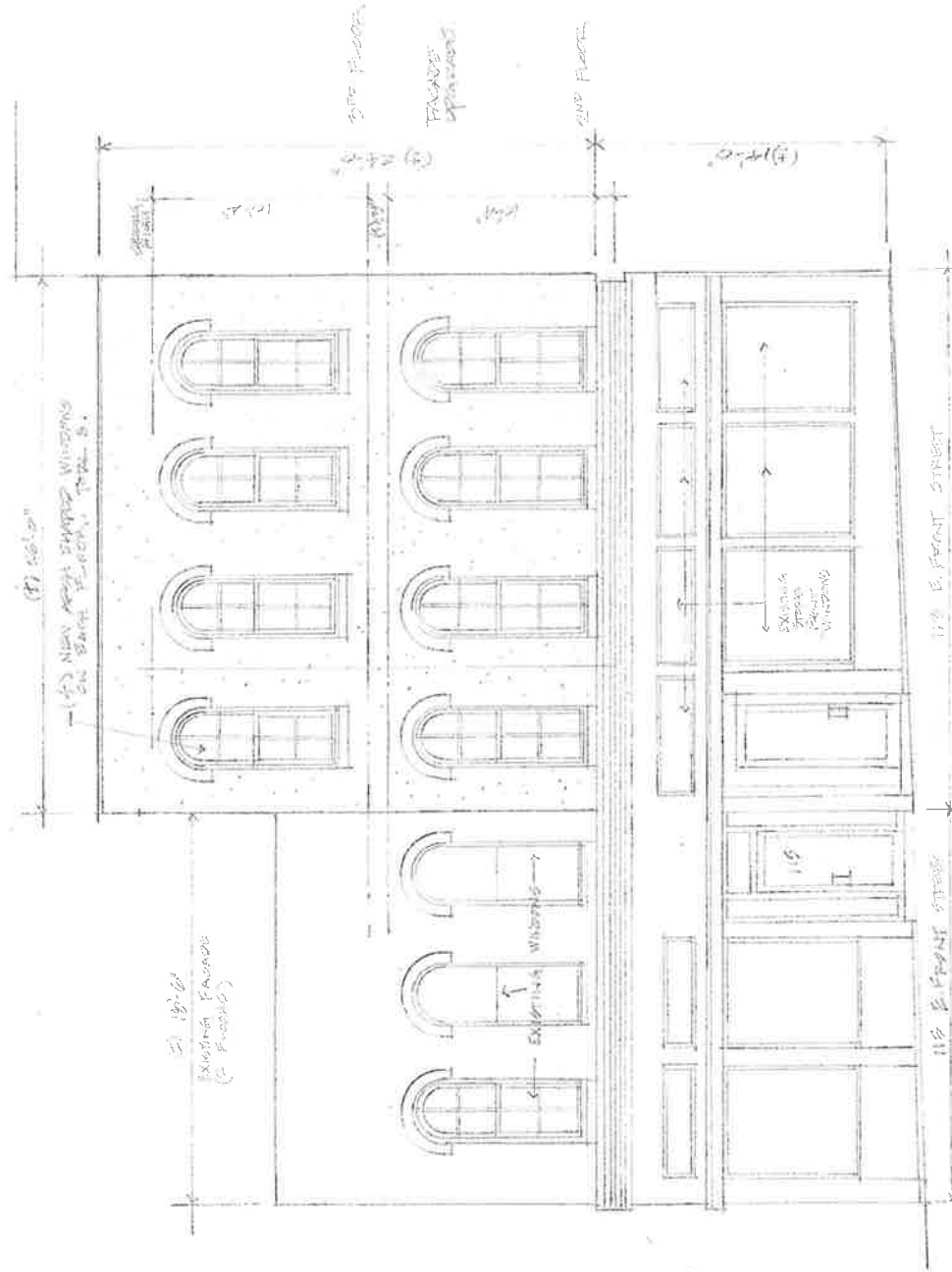
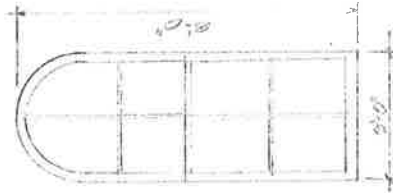
**General Contractor Notes**

- 1) Contractor shall remove existing 6" exposed cedar siding and support furring strips.
- 2) Contractor shall remove all existing windows and siding attachment trim.
- 3) Contractor shall notify Owner of the condition of the existing wall and locate where the new window locations will be in relation to the recommended spacing by the Architect as shown on the south elevation, A-1 sheet.
- 4) Contractor shall build new wood stud walls (probably 2 x 6) around the rough openings required for the two (2) rows of arched windows at the second and third floors.
- 5) Provide 1/2" CDX wood sheathing over studs, coat sheathing with air infiltration black spray liquid per manufacturer's recommendations.
- 6) Per the Owner's approval, provide a 1 1/2" thick Styrofoam insulation board (R-7) to receive an EPS coating to match the existing coating texture on the west wall, adjacent. Provide 7" wide accent arches, as shown over the new windows as well as a protruded sill, 6" high by window width, to match west elevation.
- 7) All interior finishing work, such as wood trim and base boards, shall be directed by the Owner. Interior 5/8" dry wall over new stud work over 6 mil vapor barrier over studs. Insulate stud wall with full 6" thick fiberglass insulation (R-22).
- 8) Contractor shall provide (3) 1x1 wood lintel framing (11' x" deep x 1' x") over all arched windows.

January 2020

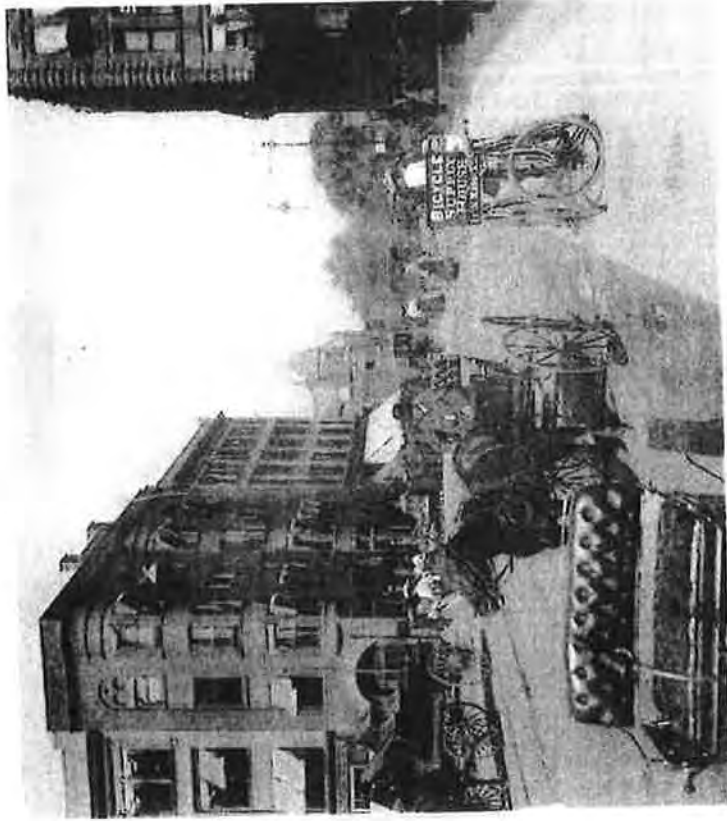
**Arched Windows**

- Select Marvin, Pella or others, manufacturers of Commercial/Residential Windows: Double Hung.
- Aluminum exterior covering, wood interior finish.
- Insulated glass, 3/8" thick, UV protection.
- Verify site to closely match existing 3 windows on 2nd floor. Wall thickness to be 5 1/2", verify with Existing wall construction. Provide wall fins for Attachment.
- Contractor to provide flashing membrane at All perimeter surfaces of window to the wall Construction, top, sides and bottom.



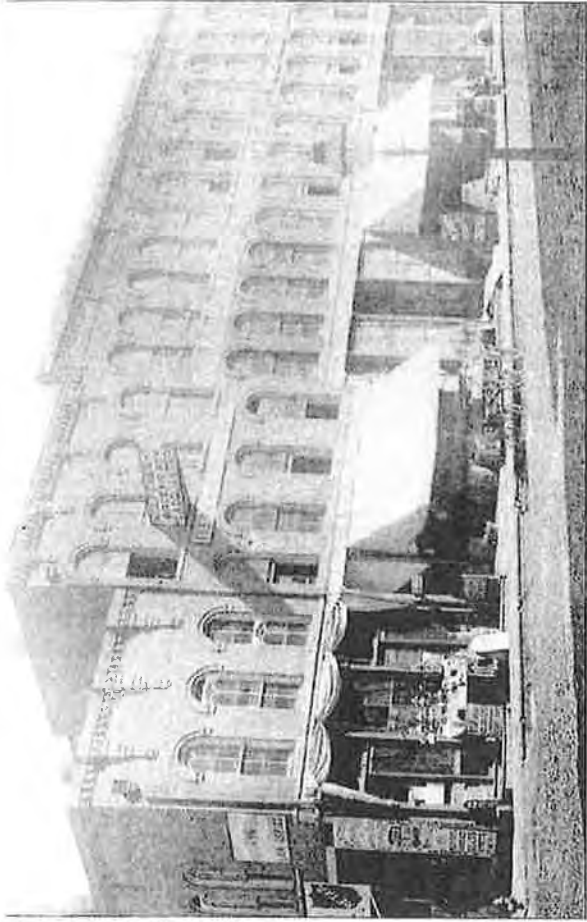
APPROVED BY:		DATE: JAN 20
SCALE: 1/4" = 1'-0"	DATE: JAN 20	REVISION:
DRAWING NUMBER: A-1		
PROJECT: FACADE UPGRADE 118 E. FRONT STREET		
DRAWN BY: J. B. BROWN		
PROJECT: FACADE UPGRADE 118 E. FRONT STREET		
DRAWING NUMBER: A-1		

# Standing on the corner



## A tour of the architecture of downtown Bloomington

By  
**Michael  
Freimann**  
for the McLean County  
Historical Society



The **Rounds Block**, seen at right in this circa 1870 photograph, was a center of commerce and Bloomington social life from its inception in 1856-57. Parts of the building have been restored in recent years by Fred Wollrab.

## Rounds Block 105-111 W. Front Street

**B**ricklayer S.G. Rounds was the builder of this group of Italianate style buildings designed by Prussian-born architect

Rudolph Richter, who worked for Rounds and also designed the Benjamin & Schermerhorn building at 210 N. Center. The buildings in this block share a common wall and make up the oldest known commercial block in Illinois designed by a professional architect.

The block was home to numerous businesses since its construction, but for many of those years it served as a social center for the city, as home to numerous restaurants, taverns and entertainment concerns.



The building at 105 W. Front has been home to a restaurant for more than 100 years, at least 70 of those under the name Federal Cafe. The Federal Cafe was only one of a row of restaurants that lined the two blocks of Front Street on either side of Main during the 1940s and 1950s and included Welch's Chop House in the Rounds Block and Murphy's Buffet and the Grand Cafe across the street.

The block has also housed at least one tavern for the last 100 years and was home to a billiard parlor for about 80 years, beginning in the late 1800s. It was also rumored to be the site of one of the longest-running regular poker games in Bloomington.

# PRO Exterior Siding

# Estimate

2704 Hendrix Dr  
Bloomington, IL 61704  
[proexterior@contractor.net](mailto:proexterior@contractor.net)

#5985  
DATE: January 17, 2020

**To:**  
Mark Johnson

**For:**  
113 W Front St  
Bloomington, IL

	ESTIMATE
Barricade sidewalk and parking spots designate to work zones	
Scaffolding to be provided by Pro Exterior	
Dumpster to be provided by owner	
Lift to be provided by owner if needed	
Demolition of wood siding and windows on second and third floors	
New framing required for new windows and restored exterior walls per architects plans	
Provide and install new Pella windows per architects plans	
Insulate around windows and for new exterior walls	
Install concrete Hardie board and concrete vertical overlay	
Bend and install custom aluminum trim around newly installed windows to seal openings	
Bend and install custom aluminum trim to finish new façade installed	
Waste material to be cleaned up and to dumpster daily	
Includes work related to unforeseen conditions once exterior wood siding is removed and existing structure is revealed	
Total labor and material	73,300.00
References available upon request	<b>TOTAL</b> \$ 73,300.00

If you have any questions regarding this estimate please contact:  
Joel Purdy Phone: 309-275-8046

**THANK YOU FOR YOUR BUSINESS!**

**Kenneth Shuell**  
**Building & Remodeling**  
**21948 Turner Dr.**  
**Hudson IL. 61748**  
**(309) 684-2193**

---

## PROPOSAL

Thank you for the opportunity to bid the job for 113 W. Front Street in Bloomington. Based upon review of the architectural plans and meetings, we are providing the following proposal. This proposal will require a written contract upon acceptance.

### Description

#### **Building Permit**

Obtain building permit and schedule inspections.  
All work to comply with applicable building Ordinances.

#### **Site Preparation**

Provide dumpster and set up and maintain construction perimeter.

#### **Demolition**

Remove wood cedar siding and windows on second & third floors of building. Remove interior trim as required for new window installation.

#### **Construction**

Construct new exterior walls to include framing in 8 new windows of Pella brand per sized and priced of like kind to upper windows at 115 W. Front St. Install round top windows and build upper and lower sashes in Sherwood Green aluminum cladding. Interior wood trim will be cased with pine. Exterior of James Hardie concrete board with vertical concrete overlay as needed.

Furnish all labor and materials to insulate and caulk windows at masonry opening to ensure weather tight installation.



Furnish and install sill flashings as required. Furnish and install all aluminum around windows.

**Painting**

Stain window interior and trims. Furnish all labor and materials to varnish interior of newly installed windows including trims. Furnishing and applying up to two coats of paint on exterior where needed pursuant to owners direction.

**Clean-up**

Debris removal and haul away all debris

The total bid for the above described work is \$82,500.00 and includes permits, all equipment, materials and labor. Please sign and return this bid proposal and we will provide a written contract for the terms provided.

---

Dated

Accepted by.

**CITY OF BLOOMINGTON**  
**REPORT FOR THE HISTORIC PRESERVATION COMMISSION**  
**March 19, 2020**

<b>CASE NO:</b>	<b>TYPE:</b>	<b>ADDRESS</b>	<b>SUBJECT:</b>	<b>REPORT BY:</b>
BHP-03-20	Certificate of Appropriateness	908 N. Prairie	Replace flat portions of roof with Duro-Last membrane, replace missing or broken ceramic roof tiles	Casey Weeks, Assistant City Planner
BHP-08-20	Funk Grant	908 N. Prairie	Replace flat portions of roof with Duro-Last membrane, replace missing or broken ceramic roof tiles	Casey Weeks, Assistant City Planner

<b>REQUEST:</b>	A Certificate of Appropriateness and a Funk Grant for \$5,000.00 to replace flat portions of roof and replace missing or broken ceramic roof tiles at 908 N. Prairie Street, c. 1906 Richardsonian Romanesque.
-----------------	--

<b>STAFF RECOMMENDATION:</b>	<i>Staff recommends the Historic Preservation Commission grant the COA for replacing flat portions of roof and replacing missing and broken ceramic roof tiles. Staff also recommends granting the maximum amount of the Funk Grant in the amount of \$5,000, since the total estimate of the project is \$14,865.00 at 908 N. Prairie Street.</i>
------------------------------	--



**Figure 1** Photo of the subject property

GENERAL INFORMATION

Owner and Applicant: Sara McClure Franklin

PROPERTY INFORMATION

Existing Zoning: R-2, Mixed Residence  
District w/S-4 Historic Preservation District  
Existing Land Use: Single Family Residence  
Property Size: 12,865 ft<sup>2</sup>  
PIN: 21-04-205-011

Historic District: Franklin Square Historic  
District  
Year Built: 1906  
Architectural Style: Richardsonian  
Romanesque  
Architect: George Miller

SURROUNDING ZONING AND LAND USES

*Zoning*

North: R-2, Mixed Residence District w/S-4  
Historic Preservation District  
South: R-2, Mixed Residence District w/S-4  
Historic Preservation District  
East: P-2, Public Lands and Institutions  
District w/S-4 Historic Preservation District

West: C-1, Office District

*Land Uses*

North: Single Family residence  
South: Single family residence  
East: Franklin Square Park  
West: Vacant lot

Analysis:

*Submittals*

This report is based on the following documents, which are on file with the Community Development Department.

1. Application for Certificate of Appropriateness and Funk Grant
2. Proposed budget
3. Site Photos
4. City of Bloomington Architectural Review Guidelines

PROJECT DESCRIPTION:

The property is a contributing structure to the Franklin Square Historic District. The two and a half story home is located on the west side of Franklin Square Park. This house was designed by George Miller and built for Lee McClure in 1906. The house walls consist of rusticated cut sandstone blocks, which overlap three courses of brick in the style of Richardsonian Romanesque. It has a medium hipped roof with a rear gable and an ornate gabled dormer with no overhang on the front. The roof is covered with ceramic interlocking French tiles and has some ornate cresting on the center ridge. The house has a rear garage/addition on the back, which was added in 1980.

The petitioner is requesting a Certificate of Appropriateness and a Funk Grant for \$5,000.00 to replace the flat portion of the roof and replace any missing or broken ceramic roof tiles.

The work proposal consists of removing two bottom rows of the French ceramic tiles to place the beige Duro-Last membrane over the flat portions of the roof that is currently covered with a black tar material. Once the flat portions of the roof have been covered, the two bottom rows of

ceramic tiles will be replaced. The Duro-Last membrane is made of PVC which can create a more watertight seal with fewer rooftop seams. The contractor has recommended the beige color due to the environmental benefits with having a lighter color roof. It will not be visible from the street.

The work proposal submitted by Action Roofing, Inc., includes: Removing existing two rows of tile roof. Install new Duro-Last fanfold approved insulation board over existing built up tar roofs. Install Duro-Last single ply membrane on north and south upper flat roofs. Install all new Duro-Last wall flashings, pipe boots, and approved Duro-Last vents for proper ventilation. Install new Duro-Last termination bar to wall flashings. Re-install all tile roof panels (replacing all missing and broken ones) or seal as necessary with concrete mortar. A sample of the beige Duro-Last membrane will be provided at the meeting. The labor for this project is \$9,600.00 and materials is \$5,265.00 for a total of \$14,865.00.

### **Historic Preservation Commission Architectural Review Guidelines**

#### M. Roofing Policy

1. Repair rather than replace roofing materials unless it is technically infeasible to do so.
2. If replacement of roofing materials is necessary, replacement materials shall be the same color, texture, and type of material as that which is being replaced, or the original historic roofing materials, unless it is technically infeasible to do so.
3. If historic roofing has been removed or covered in the past, and replacement of existing roofing is proposed, selection of material for re-roofing shall be similar with regard to size, style, and details of original historic roofing materials to the extent that such original roofing can be documented. If no photographic or other documentation exists for original historic roofing materials, selection of new materials shall be typical of those used in the style of the historic building.
4. Re-roofing projects may be approved subject to the following requirements:
  - a. Existing roofing materials are so deteriorated or damaged that they cannot be economically repaired.
  - b. Proposed new roofing material can be installed without removing, damaging, or obscuring character defining architectural features or trim.
  - c. Proposed new roofing material matches as closely as possible the existing or historic roofing material in size, profile, and texture.
  - d. The original form and shape of the roof shall be retained.
  - e. Character defining features of the roof shall be retained (cupolas, weather-vanes, dormers, cornices, brackets, chimneys, cresting, and finials).
  - f. Flat roofs which are not visible from the street may be replaced with any new material.
5. For Certificate of Appropriateness reviews, prior to review of proposed re-roofing work, the following material must be submitted to the Historic Preservation Commission:

- a. Current color photographs showing evidence of deterioration of existing roofing materials.
- b. Cost estimate with detailed breakdown of new and repair work, produced by proposed roofing contractor demonstrating that repair of existing roofing is not economically feasible.
- c. Photographs showing all areas to be covered by re-roofing.
- d. Samples of proposed roofing materials.
- e. Name and address of proposed roofing contractor.

6. Changes to the roof slope are not acceptable, unless earlier, non-historic changes are being reversed.

7. Historic or existing roofing materials shall be maintained and repaired in place, or replaced with the following approved substitute roofing materials, retaining the same size, shape, and texture as the existing materials.

Existing or Historic Material	Acceptable New Replacement Material (in order of recommended preference)
Slate	Slate Cement/mineral fiber shingles Asphalt shingles of similar size, shapes, and colors
Clay Tile	Clay Tile Cement Tile Metal shingles of similar size, shapes, and colors Asphalt shingles of similar size, shapes, and colors
Cement Tile	Cement Tile Clay Tile Metal shingles of similar size, shapes, and colors Asphalt shingles of similar size, shapes, and colors
Copper standing seam	Copper – standing seam (chemical accelerated patination shall not be permitted) Aluminum – standing seam with green coating to imitate copper patina Galvanized steel – standing seam with green coating to imitate copper patina Terne metal – standing seam, painted with green paint to imitate copper patina  Note: In all cases, seam spacing and configuration of seams shall be similar to existing or historic roof.
Metal roofing other than copper	Metal of same type and configuration as that which is being replaced. Terne-coated stainless steel Lead coated copper Aluminum with same configuration as existing and coating to match color of existing roofing Galvanized steel roofing with same configuration as existing and coating to match color of existing roofing
Cement-asbestos shingles	Cement-Mineral fiber shingles of similar sizes, shapes and colors Asphalt shingles of similar size, shape and colors
Wood shingles	Wood shingles – stained to match color of existing shingles (do not use hand-split and re-sawn wood “shakes”) Asphalt shingles of similar size, shapes and colors (do not use “wood shake” or heavily textured asphalt shingles)
Asphalt shingles	Asphalt shingles of similar size, shapes and colors

8. Do not install a roofing material which is characteristic of a different period of significance, e.g. a Mission type clay tile roof on an Art Deco building.
9. New roof valley materials shall be the same as existing historic valleys, or the original historic valleys, and shall be detailed to look the same.
10. Gutters and Downspouts
  - a. Maintain and repair existing gutters and downspouts in place. If existing gutters and downspouts are deteriorated to the extent that they must be replaced, new gutters and downspouts shall match the original historic gutters and downspouts, if such is known, or shall be of size and profile that would be characteristic of the period of significance.
  - b. Note that galvanized half-round sheet metal gutters may in many cases be more appropriate for most historic buildings which had exposed gutters than the colonial profile aluminum gutters and downspouts commonly used today.
  - c. Where built-in gutters exist and must be repaired, repair or replace only those sections that require it, using similar materials to existing historic built-in gutters.
  - d. If an owner chooses to cover existing built-in gutters, the commission will consider such situations on a case-by-case basis.
11. Cupolas, finials, cresting and other roof ornament: Where these objects exist, repair and maintain in place. Where these do not exist, do not install new ornament unless it can be shown that it historically existed on the roof of that particular building.
12. Skylights or roof windows may be installed only on surfaces which are not visible from the street.
13. New fireplace or chimney flues shall be located on surfaces which are not visible from the street and shall be constructed either of masonry materials to match other chimneys on the building or shall be metal painted to match the color of roof.
14. Roof vents or attic fans:
  - a. Unless documentation exists that shows they were present on visible portions of the historic roof, new roof vents and attic fans should be located on surfaces which are not visible from the street.
  - b. They shall be as unobtrusive as possible and shall be painted to match color of roof.
15. Toilet vent stacks shall be flashed with lead or shall be painted to match color of roof.
16. Solar panels, satellite dishes, and ham radio antennas:
  - a. These types of objects will be permitted only on surfaces which are not visible from the street.
  - b. If location is required to be in an area which is visible from the street, submit drawing showing proposed location along with rationale as to why the object must

be located in visible area. If approved in such locations, use one or more of the following techniques to reduce visual impact of objects which are out of character with the historic district:

- (1). Do not attach such objects to historic materials, or, if that is not possible, attach to historic materials using the least intrusive methods. Submittal of method of attachment will be required by the Commission to assist in determination of acceptability for location of such objects in an area which is visible from the street.
- (2). Provide berms or other types of enclosures to hide such objects from street view.
- (3). Paint objects with a color to blend with historic materials to which the object is attached.

c. To the extent possible, limit damage to existing building materials during installation of these objects and assure that when the object is removed in the future, the removal process will not be likely to damage such materials.

17. Dormers: See ‘New Addition Policy’ section below.

[The Secretary of the Interior’s Standards for Rehabilitation & Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings](#)



**Figure 2 Recommended** A cool or green roof is best installed on a flat roof where it cannot be seen from the public right of way and will not negatively impact the character of the historic building.

[NPS Preservation Brief 4 – Roofing for Historic Buildings](#)

### **Alternative Materials**

The use of the historic roofing material on a structure may be restricted by building codes or by the availability of the materials, in which case an appropriate alternative will have to be found.

Some municipal building codes allow variances for roofing materials in historic districts. In other instances, individual variances may be obtained. Most modern heating and cooking is fueled by gas, electricity, or oil--none of which emit the hot embers that historically have been the cause of roof fires. Where wood burning fireplaces or stoves are used, spark arrestor screens at the top of the chimneys help to prevent flaming material from escaping, thus reducing the number of fires that start at the roof. In most states, insurance rates have been equalized to reflect revised considerations for the risks involved with various roofing materials.

In a rehabilitation project, there may be valid reasons for replacing the roof with a material other than the original. The historic roofing may no longer be available, or the cost of obtaining specially fabricated materials may be prohibitive. But the decision to use an alternative material should be weighed carefully against the primary concern to keep the historic character of the building. If the roof is flat and is not visible from any elevation of the building, and if there are advantages to substituting a modern built-up composition roof for what might have been a flat metal roof, then it may make better economic and construction sense to use a modern roofing method. But if the roof is readily visible, the alternative material should match as closely as possible the scale, texture, and coloration of the historic roofing material.

Asphalt shingles or ceramic tiles are common substitute materials intended to duplicate the appearance of wood shingles, slates, or tiles. Fire-retardant, treated wood shingles are currently available. The treated wood tends, however, to be brittle, and may require extra care (and expense) to install. In some instances, shingles laid with an interlay of fire-retardant building paper may be an acceptable alternative.

Lead-coated copper, terne-coated steel, and aluminum/ zinc-coated steel can successfully replace tin, terne plate, zinc, or lead. Copper-coated steel is a less expensive (and less durable) substitute for sheet copper.

The search for alternative roofing materials is not new. As early as the 18th century, fear of fire caused many wood shingle or board roofs to be replaced by sheet metal or clay tile. Some historic roofs were failures from the start, based on overambitious and naive use of materials as they were first developed. Research on a structure may reveal that an inadequately designed or a highly combustible roof was replaced early in its history, and therefore restoration of a later roof material would have a valid precedent. In some cities, the substitution of sheet metal on early row houses occurred as soon as the rolled material became available.

Cost and ease of maintenance may dictate the substitution of a material wholly different in appearance from the original. The practical problems (wind, weather, and roof pitch) should be weighed against the historical consideration of scale, texture, and color. Sometimes the effect of the alternative material will be minimal. But on roofs with a high degree of visibility and patterning or texture, the substitution may seriously alter the architectural character of the building.



## Funk Grant Eligibility Criteria

2. The project for which the funding assistance is being requested must be an exterior preservation, restoration, or rehabilitation project to:
  - a. The original structure
  - b. Historically significant features of the property such as original fencing,
  - c. Architecturally compatible additions to the original structure, or
  - d. A historically significant or architecturally compatible auxiliary building to the primary structure such as a carriage house
  
3. Roofing and Gutter projects are eligible for consideration if:
  - a. The project is a repair or replacement using historically accurate roofing materials such as slate or tile, or
  - b. The project is a restoration or repair of historic, architectural features such as box or yankee gutters, or
  - c. The project is a repair or replacement using modern material which mimic historic materials in appearance and increase durability and useful life.
  
5. Project expenses eligible for grant program funds include:
  - a. Professional architectural services,
  - b. Materials, and
  - c. Skilled labor
  
10. Repairs that are ordinary in nature, and do not require historically accurate materials such as an asphalt roof replacement, driveway, or sidewalk replacement are not eligible for grant awards.

## Funding for the Funk Grant

Annual funds for the Funk Grant have been awarded for the 2020 fiscal year. Funds can be reallocated from the Rust Grant toward Funk Grants. Currently, the Rust Grant contains \$111,349.00. Staff is waiting to get an update on the Rust Grant application for 113 W. Front Street in the amount of \$25,000 for The Johnson Law Group building that was presented at the February meeting. If this Rust Grant is awarded, the total will be \$83,349.00 for the 2020 fiscal year which ends April 30, 2020.

## Analysis

The Duro-Last material proposed for the flat portions of the roof is a modern material that provides more durable, longer lasting, and energy efficient life to protect the roof. It will not be visible from the street and therefore meets the guidelines of the Secretary of Interior's Standards. The ceramic roof tiles will be replaced in kind to match the existing tiles as closely as possible. Due to differences in manufacturing and wear, tiles may be a slightly different color or sheen.

**Action by the Historic Preservation Commission:** The City of Bloomington Historic Preservation Commission shall make a determination regarding the appropriateness of the proposed work based on the architectural review guidelines and Rehabilitation Standards from the Secretary of the Interior.

FINDINGS OF FACT:

For each Certificate of Appropriateness and/or Grant awarded the Historic Preservation Commission shall be guided by the following general standards in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. *Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose;* The use of the building is not being altered. **The Standard is met.**
2. *The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;* Replacing flat portions of the roof with Duro-Last material will not alter the historic integrity of the building. Missing and broken ceramic roof tiles will be replaced in kind. **The standard is met.**
3. *All buildings, structures, and sites shall be recognized as products of their own times. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;* Replacement materials shall match originals in shape, size, and color as close as possible. **The standard is met.**
4. *Changes that may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;* The proposed work does not include alterations to the building's development over time. **The Standard is recognized by the petitioner and met.**
5. *Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity;* The petitioner is making efforts to maintain the historic character of the home as it exists today. **The Standard is met.**
6. *Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures;* Replacement of ceramic roof tile shall match the existing tiles as close as possible. Due to differences in manufacturing and wear, the ceramic roof tiles may not be able to match exactly. **The Standard is met.**
7. *The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials*

*shall not be undertaken;* The proposed work does not include surface cleaning. **The Standard is met.**

8. *Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project;* **The Standard is not applicable.**
9. *Contemporary design for alteration and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood, or environment. (Ordinance No. 2006-137, Section 44.11-5D)* The proposed work does not include new construction of design alterations. **The Standard is met.**

STAFF RECOMMENDATION:

*Staff recommends the Historic Preservation Commission grant the COA for replacing the flat portion of the roof and replacing broken and missing ceramic roof tiles. Staff also recommends granting the maximum amount of the Funk Grant in the amount of \$5,000.00. The total estimate of the project is \$14,865.00. The program provides funding for up to fifty percent of the total cost of eligible exterior projects, with a maximum grant amount of \$5,000 per project.*

Respectfully Submitted,

Casey Weeks

Assistant City Planner

Attachments: Photos, Duro-Last Materials Information, Certificate of Appropriateness Application, Funk Grant Application



**Figure 3** Aerial photo of the roof at the subject property.



**Figure 4** Photo from on top of roof showing the flat portion of the roof and the French ceramic tiles.



**Figure 5** View from on top of roof.



**Figure 6** Flat portion of roof.





**Figure 7** Close up of broken ceramic roof tile.



**Figure 8** Ceramic roof tiles.



**Figure 9** Broken ceramic roof tile.



**Figure 10** View from top of roof.



**Figure 11** View from top of roof.



**Figure 12** View from top of roof.





Figure 13 View of the flat portion of the roof.

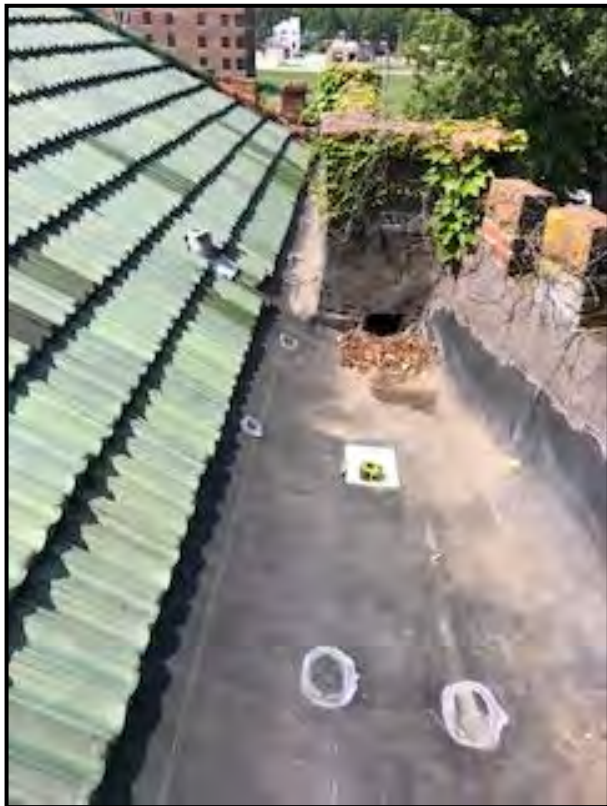


Figure 14 Roof drain



**Figure 15** Flat portion of roof.



# Membrane

REFERENCE GUIDE



Designed for those  
who sell Duro-Last®  
Roofing Systems



# The Duro-Last® Story

Duro-Last, Inc. offers four decades of proven PVC roof system performance with billions of square feet of membrane installed across North America. As a third generation, family-owned and operated company, Duro-Last prides itself on being a world-class manufacturing operation making premium roofing products in the U.S.A. Duro-Last has been successful since the beginning by providing our customers with unmatched service and expertise in the roofing industry.





## Edge-to-Edge & Deck-to-Sky™ Solutions

Duro-Last's founder, John R. Burt, was passionate about controlling the quality of every aspect of a Duro-Last roof. Because of his commitment, Duro-Last today provides complete roofing systems – including the membrane, fasteners, accessories and edge termination. Metal details are manufactured by our EXCEPTIONAL® Metals division, and insulation is offered under our Duro-Guard® brand.

## Duro-Last offers the “World’s Best Roof®”

Duro-Last membranes are manufactured using a proprietary thermoplastic formulation that provides exceptional flexibility, reflectivity, resistance to UV radiation and flame retardance. As the leader in the single-ply roofing market, Duro-Last roofing membranes have:

- A thick top weathering layer for enduring performance. Thickness and protection where it matters most.
- Supreme chemistry for harsh rooftop environments and most importantly, premium UV resistance.
- Exceptional waterproofing.
- Resistance to chemical attack, animal fats and grease.
- A high density, weft-inserted anti-wicking scrim for strength and durability.
- Industry-leading warranties.

## The Custom-Fabrication Advantage

Custom-fabrication sets Duro-Last apart from the rest of the roofing industry because it provides Time off the Roof™ solutions:

- Up to 85% of seams on the Duro-Last flagship membrane can be factory welded in a quality-controlled environment to reduce rooftop labor.
- Custom-fabricated stacks and curb flashings reduce considerable rooftop labor on the most critical roof areas.
- Less rooftop scrap and cleanup at the job site.
- Fewer rooftop seams means a more predictable and secure installation, reducing the possibility of call backs.

# Duro-Last® Membrane Highlights

All membranes offered by Duro-Last are composed of a top and bottom layer of PVC film laminated to both sides of a high-strength, weft-inserted polyester reinforcement scrim. The PVC film is a proprietary thermoplastic formulation of resins, plasticizers, stabilizers, biocides, flame retardants and UV inhibitors.

## Features Offered by All Duro-Last Membranes

- **Proven Performance:** As the commercial roofing industry's leader in PVC roofing, Duro-Last produces roofing membranes with a history of providing long-term durability and watertight protection.
- **Superior Scrim:** Our scrim is knitted in-house and has a density of either 18 x 14 or 18 x 9 threads-per-inch. The fabric is made from polyester threads that provide superior tear and puncture resistance; the fabric is treated to prevent wicking.
- **Custom-Fabricated Accessories:** Experience the benefits of our Time off the Roof™ solutions with custom-fabricated accessories that are compatible with all thicknesses of Duro-Last membranes. Using custom-fabricated accessories makes penetrations and transitions easier, which are the most time-consuming part of installation.
- **Energy Efficient:** The highly reflective Duro-Last, Duro-Tuff®, Duro-Last® EV, Duro-Fleece® and Duro-Fleece Plus® white membranes are ENERGY STAR® qualified and provide energy savings in all climates.
- **Colors:** Multiple color options are available for many of our membranes.
- **Recyclability:** Our mechanically attached membranes are recyclable after their life on the rooftop.
- **Lightweight:** PVC is lightweight, and our roofing membranes can often be installed over an existing roof without a tear-off.
- **Serviceability:** PVC is a durable and serviceable product, meaning a Duro-Last roof can have a longer life than roofs made from other materials.
- **Code Approvals:** All Duro-Last roofing membranes are UL and FM approved. For the most complete and up-to-date listing of codes and approvals, visit [duro-last.com](http://duro-last.com).

## Installation Methods

### *Duro-Last, Duro-Last EV and Duro-Tuff Membrane Attachment:*

- **Mechanically Fastened:** May be mechanically fastened to a variety of roof decks and wall materials.
- **Adhered:** May be adhered to a variety of properly prepared roof decks, walls, coverboards and insulations including concrete, Duro-Guard® DensDeck® Prime Roof Board, Duro-Guard SECUROCK® Gypsum-Fiber Roof Board, DEXcell™ Roof Board and Duro-Guard ISO products.
- **Duro-Bond® Induction Welding System:** Provides for reduced fasteners, faster installations and unwanted air intrusion.

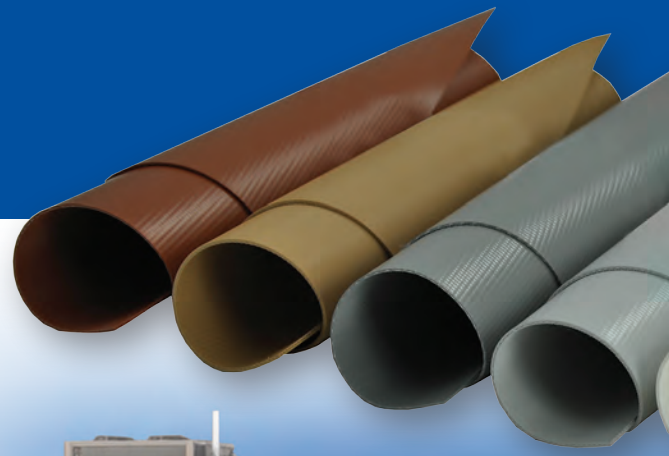
### *Duro-Fleece Plus and Duro-Fleece Membrane Attachment:*

- **Adhered:** May be adhered to a variety of properly prepared roof decks, walls, coverboards and insulations including concrete, gypsum, lightweight concrete, DensDeck® Prime Roof Board, SECUROCK® Gypsum-Fiber Roof Board and Duro-Guard ISO products. It may be adhered directly to an existing built-up roof (BUR) by using Duro-Fleece® Adhesive or spatter applied Duro-Grip® CR-20.
- **Mechanically Fastened:** May be mechanically fastened to a variety of roof decks and wall materials. An appropriate slip sheet or coverboard may be required.



# Duro-Last® Membranes

With four decades of proven performance in the roofing industry, the Duro-Last membrane is our flagship product.



PRODUCT SNAPSHOT

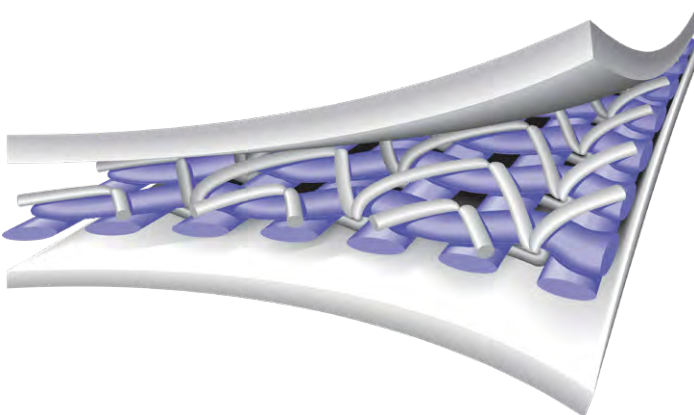
- 40, 50, or 60 mil thick
- Only product in the marketplace to offer custom-fabrication of the entire roofing membrane
- A complete line of Duro-Last custom-fabricated accessories is available for all Duro-Last membranes
- A 15-year warranty with consequential damages is available at no additional charge

## Target Market – 40 Mil

- Most flat or low-sloped applications
- Main Street North America – Small businesses
- Niche applications, such as:
  - Warehouses
  - Commercial refrigeration and coolers

## Key Sales Point – 40 Mil

- Four decades of proven performance



## Target Market – 50 and 60 Mil

- Universal solution, from Main Street North America to specification markets
- Institutional applications such as:
  - Schools and universities
  - Hospitals
  - Museums
- Commercial applications:
  - Hotels
  - Shopping centers
  - Warehouses
- Industrial buildings:
  - Manufacturing facilities
  - Food processing plants

## Key Sales Points – 50 and 60 Mil

- The material thickness over scrim of Duro-Last 50 mil membrane is thicker than that of many of our competitors' 50 or 60 mil PVC membranes.

Mil	PVC Film Above Scrim	Weight	Scrim	Colors
40 mil	17 mil	0.22 lbs. per sq. ft.	18 x 14	White, tan, gray, dark gray
50 mil	28 mil	0.29 lbs. per sq. ft.	18 x 14	White, tan, gray, dark gray, terra cotta
60 mil	28 mil	0.36 lbs. per sq. ft.	18 x 14	White, tan, gray, dark gray

# Duro-Tuff®



The Duro-Tuff product line was introduced to appeal to traditional roll good contractors, and contractors looking for a more cost-effective and more reliable sheet that provides the superior membrane characteristics Duro-Last is known for.

**PRODUCT SNAPSHOT**

- Available in roll goods only
- 50, 60, or 80 mil thickness
- A complete line of custom-fabricated accessories is available for the Duro-Tuff membrane
- Product line does not include consequential damages
- Eligible for Basic and Ultra Warranties

## Target Market

- Great for contractors who:
  - Prefer using roll goods
  - Enjoy the benefits of custom-fabricated flashings
- Architects and specifiers
- Projects where the price of the roofing system may be the most important factor

## Target Market – 60 Mil

- Often specified in public work, i.e. government facilities

## Target Market – 80 Mil

- Buildings with heavy roof traffic
- Industrial facilities
- Areas with rooftop industrial processing
- Manufacturing plants

## Key Sales Points

- In addition to white, Duro-Tuff 50, 60, and 80 mil membranes may be specially ordered in a variety of colors to complement the design of any facility.
- Thick top layer thickness over scrim.
- The 80 mil Duro-Tuff membrane is intended for the architect and specifier market.
- 10' rolls reduce welding and enable a quick, quiet, easy and predictable installation.
- The installed membrane is smooth on the surface and aesthetically pleasing.
- Duro-Tuff has a uniform thickness over scrim that provides high durability.
- Unique to the industry, Duro-Tuff color membranes are the same color top and bottom with the exception of the white Duro-Tuff membrane which has a gray bottom.

### Duro-Tuff® Roll Goods Sizes

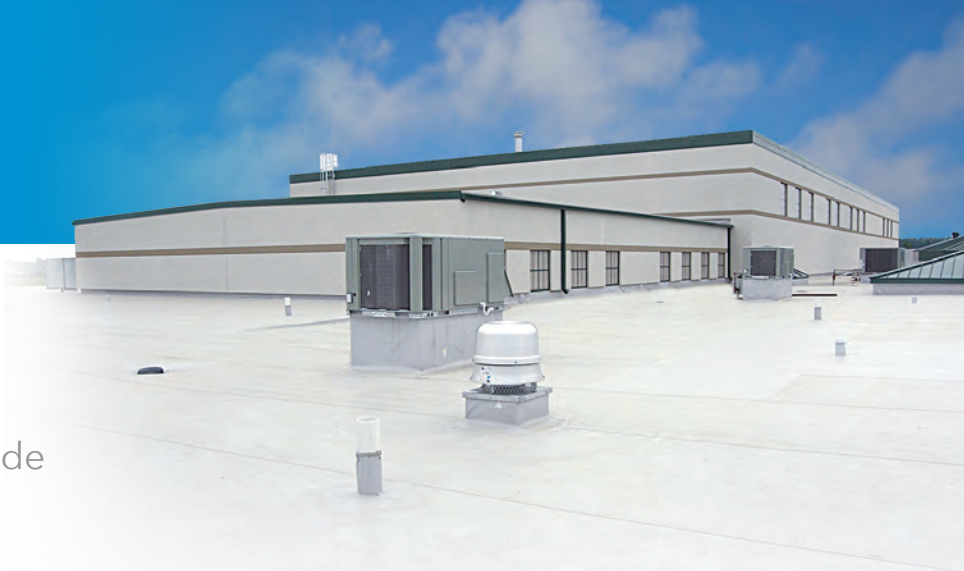
Mil	10" x 100'	30" x 100'	5' x 100'	10' x 100'
50 mil	10" x 100'	30" x 100'	5' x 100'	10' x 100'
60 mil	10" x 100'	30" x 100'	5' x 100'	10' x 100'
80 mil	10" x 65'	30" x 65'	5' x 65'	10' x 65'

Mil	PVC Film Above Scrim	Weight	Scrim	Colors
50 mil	26 mil	0.28 lbs. per sq. ft.	18 x 9	White, light gray, patina, light tan, charcoal, green, copper, blue
60 mil	31 mil	0.35 lbs. per sq. ft.	18 x 9	
80 mil	41 mil	0.51 lbs. per sq. ft.	18 x 9	



# Duro-Fleece®

Our Duro-Fleece membranes are an ideal product for use in adhered and mechanically fastened applications over a wide variety of roof substrates.



**PRODUCT SNAPSHOT**

- Available in roll goods only
- 50, 60, or 80 mil thickness
- A complete line of custom-fabricated accessories is available for the Duro-Fleece membrane
- Product line does not include consequential damages
- Eligible for Basic, Ultra and Residential Warranties

## Compatible for Direct Application with the Following Substrates:

- Structural concrete (poured in place or precast)
- Gypsum (poured in place or precast)
- Lightweight concrete (insulating or cellular)

## Target Market

- Both flat and steep-sloped applications
- Great for contractors who:
  - Prefer using roll goods
  - Want to use high-quality fleece products
- Architects and specifiers

### Duro-Fleece® Roll Goods Sizes

50 mil	5' x 100'	10' x 100'
60 mil	5' x 100'	10' x 100'
80 mil	5' x 65'	10' x 65'

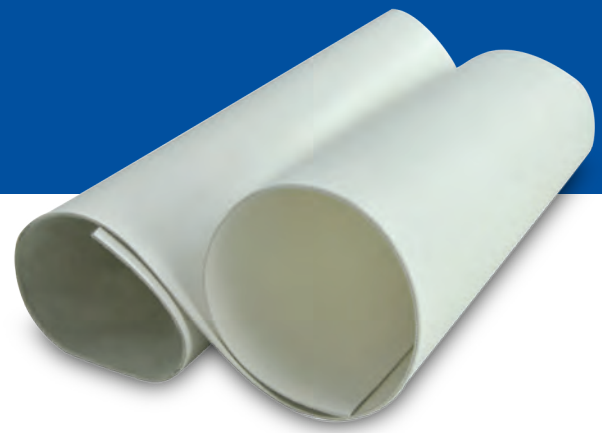
## Key Sales Points

- Highly effective on adhered concrete deck installations and roof decks with minimal penetrations.
- Can be used over aged cap sheets, older BURs and modified bitumen which may reduce project material costs and speed up installations that otherwise would require an additional separator sheet.
- In addition to white, Duro-Fleece 50, 60, and 80 mil membranes may be specially ordered in a variety of colors to complement the design of any facility.
- The 80 mil Duro-Fleece membrane is intended for the specifier market.
- Great for those who are looking for a quick, but effective installation when used with Duro-Grip® CR-20 spatter application.
- The 3.8 ounce per square yard, needle-punched polypropylene fleece on the Duro-Fleece membrane provides excellent properties for adhering or mechanically attaching to a variety of substrates.
- Each roll of membrane has one 3-inch selvage edge, without fleece, to enable rooftop hot-air welding to the adjacent membrane.
- Once installed, Duro-Fleece is smooth on the surface and aesthetically pleasing.

Mil	PVC Film Above Scrim	Overall Thickness with Fleece	Weight	Scrim	Color
50 mil	26 mil	68 mil	0.33 lbs. per sq. ft.	18 x 9	White, light gray, patina, light tan, charcoal, green, copper, blue
60 mil	31 mil	78 mil	0.39 lbs. per sq. ft.	18 x 9	
80 mil	41 mil	98 mil	0.53 lbs. per sq. ft.	18 x 9	

# Duro-Fleece Plus<sup>®</sup>

With a thicker fleece and higher density scrim, Duro-Fleece Plus is the premium fleece membrane product.



**PRODUCT SNAPSHOT**

- Available in roll goods only
- 50 or 60 mil thickness
- A complete line of custom-fabricated accessories is available for the Duro-Fleece Plus membrane
- Consequential damage warranties are available
- Eligible for Basic, Ultra, Supreme and Residential Warranties

## Compatible for Direct Application with the Following Substrates:

- Structural concrete (poured in place or precast)
- Gypsum (poured in place or precast)
- Lightweight concrete (insulating or cellular)

## Target Market

- Both flat and steep-sloped applications
- Great for those who:
  - Prefer using roll goods
  - Want to use high-quality fleece products

### Duro-Fleece Plus<sup>®</sup> Roll Goods Sizes

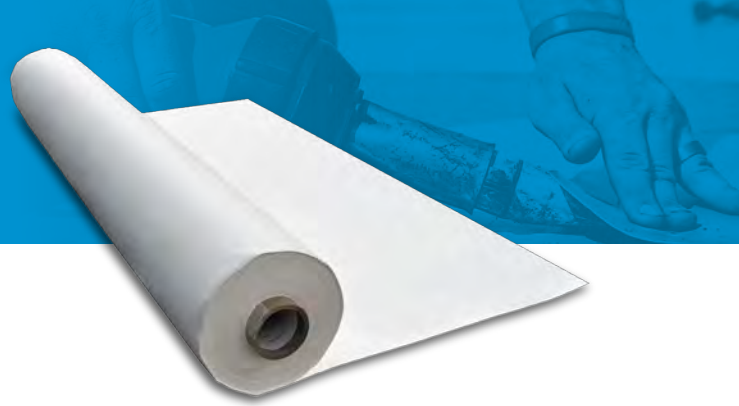
50 mil	5' x 100'	10' x 100'
60 mil	5' x 100'	10' x 100'

## Key Sales Points

- Robust overall thickness for maximum protection.
- Highly effective on adhered concrete deck installations and roof decks with minimal penetrations.
- Great wind uplift when adhered.
- Great for those who are looking for a quick, but effective installation when used with Duro-Grip<sup>®</sup> CR-20 spatter application.
- Can be used over aged cap sheets, older BURs and modified bitumen which may reduce project material costs and speed up installations that otherwise would require an additional separator sheet.
- Provides durability against hail.
- The 5.5 ounce per square yard, needle-punched polypropylene fleece on the Duro-Fleece Plus membrane provides excellent properties for adhering or mechanically attaching to a variety of substrates.
- Each roll of membrane has one 3-inch selvage edge, without fleece, to enable rooftop hot-air welding to the adjacent membrane.
- Once installed, Duro-Fleece Plus is smooth on the surface and aesthetically pleasing.

Mil	PVC Film Above Scrim	Overall Thickness with Fleece	Weight	Scrim	Colors
50 mil	28 mil	80 mil	0.35 lbs. per sq. ft.	18 x 14	White
60 mil	32 mil	90 mil	0.40 lbs. per sq. ft.	18 x 14	White

# Duro-Last® EV



Duro-Last EV membranes are excellent choices for projects requiring a long-lasting, energy efficient roof membrane with chemical resistance.

PRODUCT SNAPSHOT

- Available in roll goods only
- 50 or 60 mil thickness
- Includes DuPont's™ branded Ketone Ethylene Ester (KEE), Elvaloy® polymer
- A complete line of custom-fabricated accessories is available for the Duro-Last EV membrane
- **It's important to note that EV membranes are only compatible with EV membranes**
- Product line does not include consequential damages
- Eligible for Basic, Ultra and Residential Warranties

## Target Market

- Those looking for a cost-effective, high-performing KEE-containing membrane
- Architects and specifiers

## Key Sales Points

- Membranes containing Elvaloy®, such as Duro-Last EV, are increasingly being specified by architects.
- The installed membrane is smooth on the surface and aesthetically pleasing.
- Like the Duro-Last flagship membrane, EV membrane remains flexible and weldable in low temperatures and can be installed effectively in cold weather; thus, it will continue to perform well in cold, harsh environments.

### Duro-Last® EV Roll Goods Sizes

50 mil	10" x 100'	30" x 100'	5' x 100'	10' x 100'
60 mil	10" x 100'	30" x 100'	5' x 100'	10' x 100'

Mil	PVC Film Above Scrim	Weight	Scrim	Color
50 mil	26 mil	0.28 lbs. per sq. ft.	18 x 9	White
60 mil	31 mil	0.30 lbs. per sq. ft.	18 x 9	White



# Duro-Last® Designer Series Membranes

Our Designer Series products are ideal for applications where building appearance is important, but conventional shingles or roofing ballast may not be practical. Each membrane provides a unique look, plus the watertight performance and long-term durability of Duro-Last's single-ply roofing system.



**PRODUCT SNAPSHOT**

- Available in roll goods only
- 50 mil thick membrane
- The Rock-Ply® membrane is printed with the appearance of a ballast roof
- The Shingle-Ply® membrane is printed with a shingle design
- The pattern on both products is protected by a special polymer coating applied to help safeguard the finish from marring, fading and accumulating dirt
- A complete line of custom-fabricated accessories is available for the Designer Series membranes
- Eligible for Basic, Ultra and Residential Warranties

## Target Market

- Installations on multi-level facilities where lower roofs are visible from higher elevations
- Projects where building management wants the aesthetic look of a ballast roof
- To reduce undesired reflectivity
- Hospitals/medical facilities
- Schools and universities
- Government facilities

## Key Sales Points

- Both the Rock-Ply and Shingle-Ply membranes are manufactured and backed by Duro-Last.
- The Rock-Ply system is unique; it provides a ballast look for rooftops, where a conventional ballast installation may not be practical because of difficult roof access or other reasons.
- Duro-Last Shingle-Ply is intended to be used primarily for commercial applications where building appearance is important, but conventional shingles are not practical because the roof's slope may not provide good water runoff or the roof has other limitations.
- Also offered by Duro-Last, the Duro-Last Vinyl Rib System is ideal for applications that need the aesthetic appeal of architectural standing seam with the proven watertight integrity of singly-ply applications. This application consists of separate vinyl ribs that are attached to an installed Duro-Last membrane.

### Rock-Ply® Roll Goods Sizes

50 mil	5' x 100'	5' x 50'	30" x 100'
	30" x 50'	10" x 100'	10" x 50'

### Shingle-Ply® Roll Goods Sizes

50 mil	5' x 100'	5' x 50'
	30" x 100'	30" x 50'

Print	Mil	PVC Film Above Scrim	Weight	Scrim	Colors
Rock-Ply	50 mil	21 mil	0.29 lbs. per sq. ft.	18 x 14	Rock print
Shingle-Ply	50 mil	21 mil	0.29 lbs. per sq. ft.	18 x 14	Slate gray, sandstone



# Duro-Last® Warranties



## Supreme Warranties:

These warranties include consequential damage for the first 15 years.

Warranty Name	Membranes Covered	Min. Mil	Border Color
15-Year NDL Warranty	Duro-Last; Duro-Fleece Plus	40 mil	Green
20-Year NDL Warranty, 15-year Consequential Damage Coverage, and an Additional 5-year Material	Duro-Last; Duro-Fleece Plus	50 mil	Orange
20-Year NDL Warranty, 15-year Consequential Damage Coverage, and an Additional 5-year Labor and Material	Duro-Last; Duro-Fleece Plus	50 mil	Purple

**Ultra Warranties:** Performance warranties that cover material and labor, but do not include consequential damages.

Warranty Name	Membranes Covered	Min. Mil	Border Color
15-Year NDL Hail Warranty	Duro-Last; Duro-Fleece Plus	50 mil	Brown
15-Year NDL Hail and High Wind Warranty <sup>(1)(2)(3)</sup>	Duro-Last; Duro-Fleece Plus	50 mil	Yellow/Brown
15-Year NDL High Wind Warranty <sup>(1)(2)</sup>	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	40 mil	Yellow
20-Year NDL High Wind Warranty <sup>(1)(2)</sup>	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	50 mil	Fuchsia

**Basic Warranties:** Warranties do not include consequential damages.

Warranty Name	Membranes Covered	Min. Mil	Border Color
15-Year NDL Warranty	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	40 mil	Burgundy
20-Year NDL Warranty	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	50 mil	Blue
25-Year NDL Warranty <sup>(4)</sup>	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	60 mil	Yellow/Green
30-Year NDL Warranty <sup>(4)</sup>	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	80 mil	Orange/Red

**Residential Warranties:** Warranties do not include consequential damages. Material only warranties.

Warranty Name	Membranes Covered	Min. Mil	Border Color
15-Year Residential	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	40 mil	Pink
20-Year Residential	Duro-Last; Duro-Fleece; Duro-Fleece Plus; Duro-Tuff; Duro-Last EV	50 mil	Pink/Blue

(1) Engineering pre-approval is required. Duro-Last must supply all products.

(2) Warranty coverage for 55-mph and over wind speeds require a High Wind Warranty Letter of Intent from Engineering Services.

(3) Warranty coverage requires a Hail Wind Warranty Letter of Intent from Engineering Services.

(4) Issued with accompanying Care and Maintenance Guide, which must be followed for the life of the warranty



Certificate of Appropriateness Application

Historic Preservation Commission

Property Address: 908 N. Prairie St.

Historic District: Franklin Square [checked] East Grove Street North Roosevelt Davis-Jefferson White Place Downtown N/A

Year Built 1906 Architectural Style: Romanesque

Proposed Restoration Work: roof repair on south side alleys / new membrane

Applicant Name: Sara McClure Franklin

Address: 908 N. Prairie St.

Phone: [redacted] Fax: [redacted] Email: S [redacted]

- attach photo of property front elevation here

Detailed Description of Proposed Restoration Work: Please provide supporting documents: (Photos, drawings, specifications and sample materials info should be attached to form)

Lined area for text entry.

Project Start Date: \_\_\_\_\_ Project Completion Date: \_\_\_\_\_

- I have read and am familiar with The Secretary of the Interior’s Standards for Rehabilitation info that is available at <http://www.nps.gov/tps/standards/rehabilitation.htm> from the office listed below.
- I have read and am familiar with the relevant portion of the Commission’s Architectural Review Guidelines.

\_\_\_\_\_ (Check here)

Applicant Signature  Date 9-9-2019

Return to: **Katie Simpson, City Planner, City of Bloomington  
Government Center  
115 E. Washington St. Suite 201  
Bloomington, IL 61701  
Phone: (309) 434-2341**

Mail Address: **Planning and Code Enforcement  
P.O. Box 3157  
Bloomington, IL 61702-3157**

Certificate of Appropriateness Number \_\_\_\_\_



# EUGENE D. FUNK JR. GRANT APPLICATION

City of Bloomington Historic Preservation Commission

The program provides funding for up to 50% of the total cost of eligible exterior projects, with a maximum grant amount of \$5,000 per project.

## ELIGIBILITY

If your project does not meet all of the factors listed below, it is ineligible for Funk Grant funding:

- Property is zoned S-4, Local Historic Preservation District
- The project is an **exterior** preservation, restoration or rehabilitation project to:
  - The original structure, or;
  - Historically significant features of the property such as original fencing, or;
  - Architecturally compatible additions to the original structure, or;
  - A historically significant or architecturally compatible auxiliary building to the primary structure such as a carriage house
- A Certificate of Appropriateness application has also been submitted for this project
- Work on this project has not been started nor been completed
- The project complies with the City of Bloomington Architectural Review Guidelines

Funding assistance is not available to exterior projects on:

- Significant additions to the original structure which are not architecturally compatible with the original structure.
- Non-historically significant auxiliary buildings.
- Non-historically significant features of the property such as fences, driveways and sidewalks.
- Landscaping



APPLICATION

Property Address: 908 N. Prairie

Historic District (if applicable):

- Davis-Jefferson Historic District
- Downtown Bloomington Historic District
- East Grove Historic District
- Franklin Square Historic District
- North Roosevelt Ave Historic District
- White Place Historic District

Year Built 1906

Architectural Style: Richardsonian Romanesque

Cost of Proposed Work:

Grant Amount Requested \$5,000

- attach photo of property front elevation here

I have applied or am applying for a Certificate of Appropriateness

Proposed Restoration Work: Replace membrane on flat roof and replace + repair any ceramic roof tiles

**Detailed Description of Proposed Restoration Work:**

Please provide supporting documents:

Remove existing two lower rows of tile roof

Install new Duro last insulation board over existing tar roof

Install Duro last single ply membrane on north + south upper flat roof

Install new Duro last wall flashings pipe boots and Duro last vents

Install new Duro last termination bar to wall flashings

~~Retain~~ Re-install all tile panels on Seal Seal as necessary with modern green tile to match existing tile.

Project Start Date:

Expected Project Completion Date:

Please attach the following information to the application.

- Detailed budget of project - will request from contractor
- Copy of Certificate of Appropriateness or Application for a Certificate of Appropriateness

Historic photos supporting the application (if available)

Applicant Name: Sara McClure Franklin

Applicant Address: 908 N. Prairie St.

Phone: [REDACTED]

Email: [REDACTED]

Applicant Signature: [REDACTED]

Date

1-30-2020

RETURN TO:

City Planner  
City of Bloomington Community Development Department  
115 E. Washington St. Suite 201  
Bloomington, IL 61701  
Phone: (309) 434-2341  
Email: [ksimpson@cityblm.org](mailto:ksimpson@cityblm.org)

Submission Deadline	Hearing Date
12/24/2018	1/17/2019
1/28/2019	2/21/2019
2/19/2019	3/21/2019
3/25/2019	4/18/2019
4/22/2019	5/16/2019
5/24/2019	6/20/2019
6/24/2019	7/18/2019
7/22/2019	8/15/2019
8/26/2019	9/19/2019
9/23/2019	10/17/2019
10/21/2019	11/21/2019
11/25/2019	12/19/2019

**ACTION ROOFING, INC**  
**503 S. McCLUN**  
**BLOOMINGTON, IL 61701**  
**Ph. 309-829-3359**  
**Fax. 309-820-7319**  
**Lic. 104-014354**  
**Insured & Bonded**

**PROPOSAL**

PROPOSAL NO. <b>20-06</b>
SHEET NO. _____
DATE <b>1/15/2020</b>

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

NAME <b>Sara Franklin</b>	
ADDRESS <b>908 N. Prairie</b>	<b>908 N. Prairie</b>
CITY, STATE <b>Bloomington, IL 61701</b>	<b>Bloomington, IL 61701</b>
PHONE NO. <b>[REDACTED]</b>	

We hereby propose to furnish the materials and perform the labor necessary for the completion of  
**Furnish all permits required by the City of Bloomington**

**Remove existing two lower rows of tile roof.**

**Install new Durolast fanfold approved insulation board over existing built up tar roof(s)**

**Install Duro-Last single-ply membrane on north and south upper flat roof(s).**

**Install all new Durolast wall flashings, pipe boots and approved Durolast vents for proper ventilation.**

**Install new Durolast termination bar to wall flashings**

**Re-install all tile roof panels (replacing all missing and or broken ones) or seal as necessary with concrete mortar.**

**Clean up and haul away all debris.**

**Proposal price is for upper north and south existing hot tar roofs**

**Labor--\$9,600.00 Materials---\$5,265.00**

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of:

**Fourteen Thousand Eight Hundred Sixty Five Dollars**

**Dollars \$14,865.00**

With payment to be as follows

**In full on completion**

**Dennis E Phillips**

Respectfully Submitted \_\_\_\_\_

NOTE-This proposal may be withdrawn by us if not accepted within **30** days.

**ACCEPTANCE OF PROPOSAL**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_



**CITY OF BLOOMINGTON**  
**REPORT FOR THE HISTORIC PRESERVATION COMMISSION**  
**March 19, 2020**

<b>CASE NO:</b>	<b>TYPE:</b>	<b>ADDRESS</b>	<b>SUBJECT:</b>	<b>REPORT BY:</b>
BHP-04-20	COA	901 N. McLean St.	Replace asphalt shingles on roof, and replace aluminum K style gutters	Casey Weeks, Assistant City Planner

<b>REQUEST:</b>	Certificate of Appropriateness (COA) to replace asphalt shingles on roof and standard aluminum K style gutters with like materials.
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<b>STAFF RECOMMENDATION:</b>	901 N. McLean Street is a contributing structure to the Franklin Square Historic District. <i>Staff recommends granting the COA to replace the asphalt shingles and gutters on the residence.</i>
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**Figure 1** Adlai Stevenson house at 901 N. McLean Street.

GENERAL INFORMATION

Owner and Applicant: Blooming Grove Prop LLC., John Cleary Construction

PROPERTY INFORMATION

Existing Zoning: R-2 Mixed Residence  
District w/S-4 Historic Preservation District  
Existing Land Use: Multi-family residential  
Property Size: 16,500 ft<sup>2</sup> (100' x 165')  
PIN: 21-04-207-005

Historic District: Franklin Square  
Year Built: 1869 ca.  
Architectural Style: Italianate  
Architect: Unknown

SURROUNDING ZONING AND LAND USES

*Zoning*

North: R-2 Mixed Residence District w/S-4  
Historic Preservation District  
South: R-2 Mixed Residence District w/S-4  
Historic Preservation District  
East: R-2 Mixed Residence District w/S-4  
Historic Preservation District  
West: P-2 Public Lands and Institutions District w/S-4  
Historic Preservation District

*Land Uses*

North: Residential  
South: Residential  
East: Residential  
West: Franklin Square Park

Analysis:

Submittals

This report is based on the following documents, which are on file with the Community Development Department.

1. Application for Certificate of Appropriateness
2. Site Photos
3. Site Visit

BACKGROUND:

901 N. McLean Street is located in the Franklin Square Historic District. The building was constructed circa 1869 and is a contributing structure to the Franklin Square Historic District. The house is an Italianate style built for William K. Dodson, a wholesale and retail dealer in foreign and domestic liquors. The most notable resident of the house was Adlai E. Stevenson, who was the Vice President of the United States under Grover Cleveland from 1892-1896. Adlai Stevenson II, a Governor of Illinois, Democratic presidential nominee, and U.S. Ambassador to the United Nations also spent part of his youth at the residence.

PROJECT DESCRIPTION:

The applicant submitted a COA to replace asphalt shingles of similar color and standard aluminum K style gutters with like materials. The owner replaced the asphalt shingles on the eastern addition on December 23, 2019 prior to having a COA or building permit issued. The house is on the northeast corner of E. Chestnut Street and N. McLean Street.

The existing roof is covered in asphalt shingles. The new color of shingles is similar to the previous gray color. The existing gutters and downspouts appear to be mostly modern aluminum style. Currently, there are sections of missing gutters and downspouts (see photos).

Bloomington Historic Preservation Commission Architectural Review Guidelines

M. Roofing Policy - page 10

1. Repair rather than replace roofing materials unless it is technically infeasible to do so.
2. If replacement of roofing materials is necessary, replacement materials shall be the same color, texture, and type of material as that which is being replaced, or the original historic roofing materials, unless it is technically infeasible to do so.
3. If historic roofing has been removed or covered in the past, and replacement of existing roofing is proposed, selection of material for re-roofing shall be similar with regard to size, style, and details of original historic roofing materials to the extent that such original roofing can be documented. If no photographic or other documentation exists for original historic roofing materials, selection of new materials shall be typical of those used in the style of the historic building.
4. Re-roofing projects may be approved subject to the following requirements:
  - a. Existing roofing materials are so deteriorated or damaged that they cannot be economically repaired.
  - b. Proposed new roofing material can be installed without removing, damaging, or obscuring character defining architectural features or trim.
  - c. Proposed new roofing material matches as closely as possible the existing or historic roofing material in size, profile, and texture.
  - d. The original form and shape of the roof shall be retained.
  - e. Character defining features of the roof shall be retained (cupolas, weather-vanes, dormers, cornices, brackets, chimneys, cresting, and finials).
  - f. Flat roofs which are not visible from the street may be replaced with any new material.
5. For Certificate of Appropriateness reviews, prior to review of proposed re-roofing work, the following material must be submitted to the Historic Preservation Commission:
  - a. Current color photographs showing evidence of deterioration of existing roofing materials.
  - b. Cost estimate with detailed breakdown of new and repair work, produced by proposed roofing contractor demonstrating that repair of existing roofing is not economically feasible.
  - c. Photographs showing all areas to be covered by re-roofing.
  - d. Samples of proposed roofing materials.
  - e. Name and address of proposed roofing contractor.
6. Changes to the roof slope are not acceptable, unless earlier, non-historic changes are being reversed.

7. Historic or existing roofing materials shall be maintained and repaired in place, or replaced with the following approved substitute roofing materials, retaining the same size, shape, and texture as the existing materials.

Existing or Historic Material	Acceptable New Replacement Material (in order of recommended preference)
Slate	Slate Cement/mineral fiber shingles Asphalt shingles of similar size, shapes, and colors
Clay Tile	Clay Tile Cement Tile Metal shingles of similar size, shapes, and colors Asphalt shingles of similar size, shapes, and colors
Cement Tile	Cement Tile Clay Tile Metal shingles of similar size, shapes, and colors Asphalt shingles of similar size, shapes, and colors
Copper standing seam	Copper – standing seam (chemical accelerated patination shall not be permitted) Aluminum – standing seam with green coating to imitate copper patina Galvanized steel – standing seam with green coating to imitate copper patina Terne metal – standing seam, painted with green paint to imitate copper patina  Note: In all cases, seam spacing and configuration of seams shall be similar to existing or historic roof.
Metal roofing other than copper	Metal of same type and configuration as that which is being replaced. Terne-coated stainless steel Lead coated copper Aluminum with same configuration as existing and coating to match color of existing roofing Galvanized steel roofing with same configuration as existing and coating to match color of existing roofing
Cement-asbestos shingles	Cement-Mineral fiber shingles of similar sizes, shapes and colors Asphalt shingles of similar size, shape and colors
Wood shingles	Wood shingles – stained to match color of existing shingles (do not use hand-split and re-sawn wood “shakes”) Asphalt shingles of similar size, shapes and colors (do not use “wood shake” or heavily textured asphalt shingles)
Asphalt shingles	Asphalt shingles of similar size, shapes and colors

8. Do not install a roofing material which is characteristic of a different period of significance, e.g. a Mission type clay tile roof on an Art Deco building.
9. New roof valley materials shall be the same as existing historic valleys, or the original historic valleys, and shall be detailed to look the same.

10. Gutters and Downspouts

- a. Maintain and repair existing gutters and downspouts in place. If existing gutters and downspouts are deteriorated to the extent that they must be replaced, new gutters and



downspouts all match the original historic gutters and downspouts, if such is known, or shall be of size and profile that would be characteristic of the period of significance.

b. Note that galvanized half-round sheet metal gutters may in many cases be more appropriate for most historic buildings which had exposed gutters than the colonial profile aluminum gutters and downspouts commonly used today.

c. Where built-in gutters exist and must be repaired, repair or replace only those sections that require it, using similar materials to existing historic built-in gutters.

d. If an owner chooses to cover existing built-in gutters, the commission will consider such situations on a case-by-case basis.

#### FINDINGS OF FACT:

For each Certificate of Appropriateness and/or Grant awarded the Historic Preservation Commission shall be guided by the following general standards in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. *Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose;* The asphalt shingles and gutters will be replaced with like materials. **The Standard is met.**
2. *The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible;* As a part of routine maintenance of a building, asphalt shingles need to be replaced over the lifetime of the structure. Modern aluminum K style gutters on the rear addition have replaced what may have been there historically. **The Standard is met.**
3. *All buildings, structures, and sites shall be recognized as products of their own times. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged;* Alterations to the existing historic fabric and integrity to the building have not been proposed. **The Standard is met.**
4. *Changes that may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected;* Alterations to the existing historic fabric and integrity to the building have not been proposed. **The Standard is met.**
5. *Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity;* Alterations to the existing historic fabric and integrity to the building have not been proposed. **The Standard is met.**

6. *Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures; Asphalt Shingles are regularly replaced throughout the lifetime of the home. The applicant is proposing to replace asphalt shingles and gutters with like materials. **The Standard is met.***
7. *The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken; **The standard is not applicable.***
8. *Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project; **The Standard is not applicable.***
9. *Contemporary design for alteration and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood, or environment. (Ordinance No. 2006-137, Section 44.11-5D) Alterations to the existing historic fabric and integrity to the building have not been proposed. The applicant is proposing to replace asphalt shingles and gutters with like materials. **The Standard is met.***

STAFF RECOMMENDATION: 901 N. McLean Street is a contributing building to the Franklin Square Historic District. Its design is compatible with the historic context and the period of significance of Franklin Square. The replacement of asphalt shingles and gutters will improve the sustainability and longevity of this historic structure. *Staff recommends the Historic Preservation Commission grant the request for a COA to replace the roof with asphalt shingles and gutters with like materials.*

Respectfully Submitted,

Casey Weeks  
Assistant City Planner

Attachments: Photos of building, COA



**Figure 2** Rear addition - South elevation facing E. Chestnut Street.



**Figure 3** South entrance on rear addition showing downspout - facing E. Chestnut Street.



**Figure 4** Rear, East elevation showing gutter.



**Figure 5** South elevation - notice gutters and downspouts.





**Figure 6** Front door - west elevation facing N. McLean Street.



**Figure 7** Downspout on southwest corner of house on the front facade.



**Figure 8** Cornice on front façade showing box gutter.



**Figure 9** Front facade - portion of downspout missing.



**Figure 10** Closeup of downspout shown above on front facade at cornice.





**Figure 11** Same section of downspout shown above, showing missing portion.



**Figure 12** Rear - east elevation



# Certificate of Appropriateness

City of Bloomington Historic Preservation Commission

## Criteria Checklist

Please be sure the following information is complete before submitting application

- Property is zoned S-4, Local Historic Preservation District
- Work on this project has not been started nor been completed
- The project complies with the City of Bloomington Architectural Review Guidelines
- For significant changes to buildings and/or property such as room additions, new buildings, or driveways include a scaled drawing depicting your lot, location of all building, structures, driveways, parking areas, and other improvements showing all dimensions
- Specifications as to the type, quantity, dimensions, and durability of the materials are described in the drawings or an associated narrative

## Application

Property Address: *901 N. McLean*

### Historic District (if applicable):

- Davis-Jefferson Historic District
- Downtown Bloomington Historic District
- East Grove Historic District
- Franklin Square Historic District
- North Roosevelt Ave Historic District
- White Place Historic District

Year Built *1869*

Architectural Style: *Italianate*

- attach photo of property front elevation here

Proposed Restoration Work: *Replace asphalt architectural shingles with like materials*  
*Replace standard Alum K style gutters with like*

### Detailed Description of Proposed Restoration Work:

Please provide supporting documents:

- Replace architectural shingles with like materials similar color (East Addition is completed)
  - Replace K style gutters on East Additions with Like K style Alum gutters
  - Replace Downspouts on original structure with Round galv downspouts from Built in gutters
  - Repair Fascia with Cedar or Redwood depending on availability
- Hired Roofing Contractor who claimed to have all necessary paperwork to start work

Project Start Date: 12-23-19

Expected Project Completion Date: 7-1-20

Please attach the following information to the application.

- Historic photos supporting the application (if available)

Applicant Name: Blooming Grove Prop LLC (W Cleary Const LLC)  
Applicant Address: 24762 Nighthawk Rd Hudson IL 61748  
John Cleary



Phone: [REDACTED]

Email: [REDACTED]

**Applicant Signature\* Date**

[REDACTED]  
*John Cleary*

Return to:

City Planner  
City of Bloomington Community Development Department  
115 E. Washington St. Suite 201  
Bloomington, IL 61701  
Phone: (309) 434-2341  
Email: [ksimpson@cityblm.org](mailto:ksimpson@cityblm.org)

Submission Deadline	Hearing Date
12/24/2018	1/17/2019
1/28/2019	2/21/2019
2/18/2019	3/21/2019
3/25/2019	4/18/2019
4/22/2019	5/16/2019
5/24/2019	6/20/2019
6/24/2019	7/18/2019
7/22/2019	8/15/2019
8/26/2019	9/19/2019
9/23/2019	10/17/2019
10/21/2019	11/21/2019
11/25/2019	12/19/2019

**CITY OF BLOOMINGTON**  
**REPORT FOR THE HISTORIC PRESERVATION COMMISSION**  
**March 19, 2020**

<b>CASE NO:</b>	<b>TYPE:</b>	<b>ADDRESS</b>	<b>SUBJECT:</b>	<b>REPORT BY:</b>
BHP-07-20	Rust Grant	107 W. Monroe St.	Repointing and replacing 150 damaged bricks on the exterior façade and sides	Casey Weeks, Assistant City Planner

<b>REQUEST:</b>	Rust Grant for \$13,170.50 to repoint and replace 150 damaged bricks on the exterior built ca. 1901, Koldaire Equipment Co., contributing to the Downtown National Register Historic District.
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<b>STAFF RECOMMENDATION:</b>	107 W. Monroe St. is a contributing building in the National Register Downtown Historic District. Its design is compatible with the historic context and the period of significance for downtown. The Rust Grant funds are intended to prioritize preservation and restoration of contributing structures. <i>Staff recommends the Historic Preservation Commission grant the request for a <b>Rust Grant for \$13,170.50</b> to repoint and replace 150 damaged bricks on the façade and sides.</i>
------------------------------	--



**Figure 1** 107 W. Monroe Street

GENERAL INFORMATION

Owner and Applicant: Celeste Hochhalter

PROPERTY INFORMATION

Existing Zoning: D-1 Central Business District  
Existing Land Use: Commercial  
Property Size: 6,468 ft<sup>2</sup> (49' x 132')  
PIN: 21-04-188-006

Historic District: Downtown District  
Year Built: ca. 1901  
Architectural Style: contributing  
Architect:

SURROUNDING ZONING AND LAND USES

*Zoning*

North: D-1 Central Business District  
South: D-1 Central Business District  
East: D-1 Central Business District  
West: D-1 Central Business District

*Land Uses*

North: Mixed Use  
South: Mixed Use  
East: Mixed Use  
West: Restaurant

Analysis:

Submittals

This report is based on the following documents, which are on file with the Community Development Department.

1. Application for Rust Grant
2. Estimates for the proposed work
3. Site Photos
4. Site Visit

BACKGROUND:

107 W. Monroe St. also known as the Koldaire Equipment Co., is located in the Central Business District and Downtown National Register Historic District. The building was constructed circa 1901 and is a contributing structure to the Downtown Historic District. It is a two-story commercial masonry building with an altered first floor. The original bricks on the first story of the façade have been replaced with a different modern brick. The applicant previously received two Rust Grants for this property in October of 2010 to repoint and replace brick and install a new roof.

The Harriet Fuller Rust Façade program is geared to façade improvements ranging from minor repairs and painting to complete façade renovation and structural improvements needed to prevent the façade from safety failures.

The applicant is requesting a **Rust Grant in the amount of \$13,170.50** to repoint and replace 150 damaged bricks on the façade and sides of the building.

When looking at the photographs of the existing conditions of the building and brick notice that some of the faces of the brick have eroded. This damaged can be caused by incompatible mortar composition that is not softer than the brick. According to the National Park Service Preservation

Brief 2, “Preliminary research is necessary to ensure that the proposed repointing work is both physically and visually appropriate to the building. Analysis of unweathered portions of the historic mortar to which the new mortar will be matched can suggest appropriate mixes for the repointing mortar so that it will not damage the building because it is excessively strong or vapor impermeable.” Preservation Brief 2 also states, “The decision to repoint is most often related to some obvious sign of deterioration, such as disintegrating mortar, cracks in mortar joints, loose bricks or stones, damp walls, or damaged plasterwork. It is, however, erroneous to assume that repointing alone will solve deficiencies that result from other problems. The root cause of the deterioration—leaking roofs or gutters, differential settlement of the building, capillary action causing rising damp, or extreme weather exposure—should always be dealt with prior to beginning work.”

### **NPS Preservation Brief 2 – Repointing Mortar Joints in Historic Masonry Buildings**

In creating a repointing mortar that is compatible with the masonry units, the objective is to achieve one that matches the historic mortar as closely as possible, so that the new material can coexist with the old in a sympathetic, supportive and, if necessary, sacrificial capacity. The exact physical and chemical properties of the historic mortar are not of major significance as long as the new mortar conforms to the following criteria:

- The new mortar must match the historic mortar in color, texture and tooling. (If a laboratory analysis is undertaken, it may be possible to match the binder components and their proportions with the historic mortar, if those materials are available.)
- The sand must match the sand in the historic mortar. (The color and texture of the new mortar will usually fall into place if the sand is matched successfully.)
- The new mortar must have greater vapor permeability and be softer (measured in compressive strength) than the masonry units.
- The new mortar must be as vapor permeable and as soft or softer (measured in compressive strength) than the historic mortar. (Softness or hardness is not necessarily an indication of permeability; old, hard lime mortars can still retain high permeability.)

### **PROJECT DESCRIPTION:**

The applicant submitted a Rust Grant application to request funding for repointing and replacing 150 damaged bricks on a commercial building at 107 W. Monroe Street. The applicant has provided two estimates for the work. The first estimate is from Force Masonry Construction Inc. and includes machine rental for man-lift at \$300/day, grind out mortar joints approx. one inch deep to allow enough room for the new mortar to bond correctly to the brick, tuck-point the ground area using a coloring agent to help match the existing aged mortar look. Total area tuck-pointed is 61 LF (the length of the front and 12’ around both sides. 15’ down from the top of the parapet wall.) Includes the rear side of the parapet wall. Replace approx. 150 damaged brick. The total for this estimate is \$26,341.00.

The second estimate is from Roy Brothers Masonry and includes power washing all areas to remove debris for a total of \$14,110.00. Staff is not recommending the second estimate due to the contractor recommending to power wash all areas. Power washing is not a recommended



treatment for historic brick. Staff met with the applicant and provided the National Park Service Preservation Brief 2 on Repointing Mortar Joints.

In McLean County, as per the Department of Labor, the prevailing wage for skilled labor is \$31.05/hour and a laborer is \$30.05/hr. The minimum hourly rate paid will need to match the State's prevailing wage guidelines for McLean County.

## **Bloomington Historic Preservation Commission Architectural Review Guidelines**

### **F. Masonry Repair Policy**

1. All Masonry work to be in accordance with the Masonry Institute of America repair and restoration guidelines.
2. Repair rather than replace masonry materials unless it is technically infeasible to do so.
3. If replacement of masonry materials is necessary, replacement materials shall be the same color, texture, and type of material as that which is being replaced, unless it is technically infeasible to do so,
4. Do not sandblast masonry.
5. Do not high-pressure water blast masonry.
6. Tuck-pointing shall be done following National Park Service Preservation Brief Number 2 and Illinois Preservation Brief Number 10.
7. Use cement-lime mortars appropriate to the type of masonry to be tuck-pointed.
8. Do not use premixed "masonry cements" that contain no lime for tuck-pointing.
9. Joint profiles and colors of tuck-pointing shall match existing historic tuck-pointing.
10. Do not parge or apply stucco to masonry surfaces that were not historically parged or stuccoed.
11. Do not install synthetic siding over masonry materials.

### **FINDINGS OF FACT:**

For each Certificate of Appropriateness and/or Grant awarded the Historic Preservation Commission shall be guided by the following general standards in addition to any design guidelines in the ordinance designating the landmark or historic district:

1. *Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building, structure, or site and its environment, or to*

*use a property for its originally intended purpose; The building is currently being used as a commercial building. **The Standard is met.***

2. *The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided when possible; Damaged bricks that are being replaced should match in texture and color. The existing mortar should be analyzed and matched, so that more bricks are not damaged due to incompatible mortar composition. Mortar should always be softer than the brick. **The Standard is met.***
3. *All buildings, structures, and sites shall be recognized as products of their own times. Alterations that have no historical basis and that seek to create an earlier appearance shall be discouraged; Alterations to the design of the building have not been proposed. **The Standard is met.***
4. *Changes that may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected; The proposed work will match existing brick and mortar. **The Standard is met.***
5. *Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity; The proposed work does not alter the features of the building. **The Standard is met.***
6. *Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical or pictorial evidence, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures; Bricks being replaced shall match the historic brick on the building. The composition of the mortar shall be compatible as to not cause damage to existing brick. **The Standard is met.***
7. *The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken; Power washing or spraying the brick exterior shall not be undertaken. **The Standard is met***
8. *Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project; **The Standard is not applicable.***
9. *Contemporary design for alteration and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical,*

Prepared: 03/09/2020

**Agenda item 5.E**

**REPORT**

*architectural, or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood, or environment. (Ordinance No. 2006-137, Section 44.11-5D) New construction is not proposed in the scope of work.*

**The Standard is met.**

STAFF RECOMMENDATION: 107 W. Monroe Street is a contributing building in the Downtown National Register Historic District. Its design is compatible with the historic context and the period of significance for downtown. The repointing and replacement of damaged masonry will improve the sustainability and longevity of this historic structure. *Staff recommends the Historic Preservation Commission grant the request for a Rust Grant for \$13,170.50 to assist with the costs of repointing and replacing 150 damaged bricks to the exterior masonry walls.*

Respectfully Submitted,

Casey Weeks  
Assistant City Planner

Attachments: Photos of building, Rust Application, Estimates with Scope of Work



**Figure 2** Southeast corner of facade at 107 W. Monroe Street.

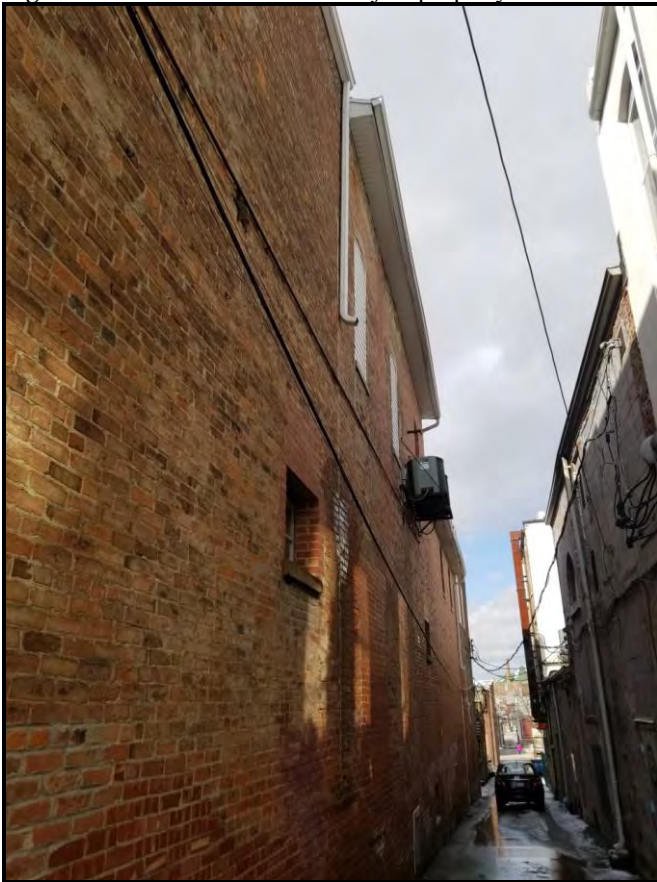


**Figure 3** East elevation of the subject property.





**Figure 4** East elevation of the subject property.



**Figure 5** East elevation showing downspout and water drainage.



**Figure 6** East elevation showing where the water from the downspout drains on to the building.



**Figure 7** Facade at entrance of the subject property.





Figure 8 Southwest corner of the subject building.



Figure 9 West elevation of the subject property.



**Figure 10** West elevation of subject property showing previous brick replacement.





# HARRIET FULLER RUST FAÇADE GRANT APPLICATION

## City of Bloomington Historic Preservation Commission

The program provides funding for up to 50% of the total cost of eligible exterior projects within Bloomington's central downtown district. This grant offers a maximum award amount of \$25,000 per project. \$50,000.00 may be awarded to buildings determined by the Historic Preservation Commission to be in extreme and dangerous states of disrepair.

### ELIGIBILITY

If your project does not meet all of the factors listed below, it may be ineligible for funding:

- Property is within the program's target area
- The project is an **eligible** preservation, restoration or rehabilitation improvement:
  - Brick cleaning and tuck pointing
  - Window restoration
  - Painting
  - Restoration or original architectural features visible from the street
  - Signs
  - Remodeling window display areas
  - Exterior lighting
  - Window and/or door replacement
  - Awnings
  - Eligible non-façade work such as roof repairs/replacements, elimination of sidewalk vaults, chimney, foundations and other structural components, drainage systems, and tuck pointing
  - Detailed architectural design work
  - Structural inspection or analysis by a licensed architect or engineer
  - Asbestos and/or lead paint removal
- I am the owner of the property, or can provide consent from the owner.
- Work on this project has not been started nor been completed
- The project complies with the City of Bloomington Architectural Review Guidelines
- This project includes prevailing wages for labor

APPLICATION

Property Address: 107 W. Monroe

Year Built 1890s circa

Architectural Style:

Architect:

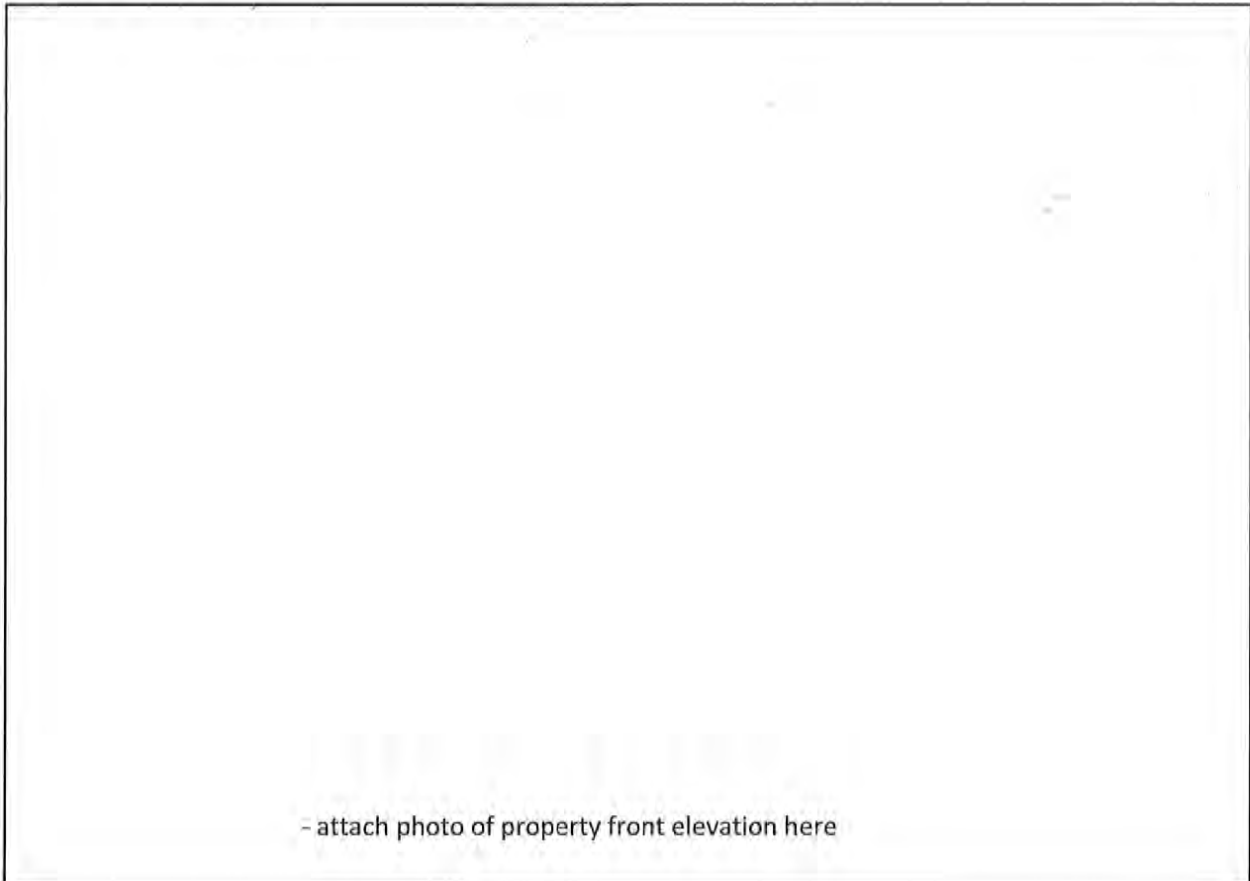
Scope of work (please select the option that best describes the type of work):

Repainting exterior

Cost of Proposed Work (Estimate 1):

Cost of Proposed Work (Estimate 2):

Grant Amount Requested:



**Detailed Description of Proposed Restoration Work:**

Force Masonry Construction Inc.  
3505 Edgewater Dr.

Pekin, IL

- 1.) Contact city inspectors office to pull permits
- 2.) Machine rental for man-lift \$300 / day
- 3.) Grind out mortar joints approx 1" deep to allow enough room for the new mortar to bond correctly to the brick.
- 4.) Tuck-point the ground area using a coloring agent to help match the existing aged mortar look. Total area tuck-pointed is 61 LF (the length of the front and 12' around both sides. 15' down from the top of the parapet wall.) Includes the rear side of the parapet wall.
- 5.) Replace approx. 150 damaged brick.
- 6.) Set up and tear down equipment
- 7.) Clean job site

Total: \$26,341.00

Project Start Date:

Expected Project Completion Date:

Please attach the following information to the application.

- Design plan
- Outline work specification prepared by an architect (if applicable)
- Overall budget for the project
- Minimum two (2) estimates for the project
- Sample materials (if possible)
- Historic photos of the subject property showing the appropriateness of improvements (when possible)

Applicant Name: *Ann Celeste Hochhalter*  
Applicant Address: *107 W Monroe Bloomington IL 61701*  
Phone: [REDACTED]  
Email: [REDACTED] *lowercase*  
Applicant Signature: [REDACTED]  
Date: *2-27-2020*

RETURN TO:

City Planner  
City of Bloomington Community Development Department  
115 E. Washington St. Suite 201  
Bloomington, IL 61701  
Phone: (309) 434-2341  
Email: [ksimpson@cityblm.org](mailto:ksimpson@cityblm.org)

Submission Deadline	Hearing Date
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7/22/2019	8/15/2019
8/26/2019	9/19/2019
9/23/2019	10/17/2019
10/21/2019	11/21/2019
11/25/2019	12/19/2019



Force Masonry Construction Inc.  
3505 Edgewater Dr.  
Pekin, IL 61554 US  
3096425332  
force.masonry@yahoo.com

# Estimate

ADDRESSES:

Celeste Hochhalter  
Koldaire Equipment Co  
107 W Monroe St  
Bloomington, IL 61701  
United States

ESTIMATE #  
1478

DATE  
08/23/2019

SERVICE	DESCRIPTION	QTY	RATE	AMOUNT
05 Masonry	all labor and materials included. 1. contact city inspectors office to pull permits. 2. machine rental for man-lift \$300 per day up to 9 days. 3. grind out mortar joints approximately 1" deep to allow enough room for the new mortar to bond correctly to the brick. 4. Tuck-point the ground area using a coloring agent to help match the existing aged mortar look. total area tuck-pointed is 61LF (the length of the front and 12' around both sides. 15' down from the top of the parapet wall.) includes the rear side of the parapet wall. 5. replace approximately 150 damaged brick. 6. set up and tear down equipment. 7. clean job site.	1	26,341.00	26,341.00

this work includes using dustless tools to meet O.S.H.A guidelines.  
30% down payment is due on the day we start and the remainder will be due within 48 hours of job completion.

TOTAL

**\$26,341.00**

Accepted By

Accepted Date

**Ann C Hochhalter**

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**From:** roybrosmasonry <roybrosmasonry@yahoo.com>  
**Sent:** Tuesday, May 14, 2019 1:31 PM  
**To:** [REDACTED]  
**Subject:** Masonry repairs  
**Categories:** Yellow Category, Blue Category

Roy Brothers Masonry

Estimate: May 14 2019

Koldaire masonry repairs scope of work:

- × power wash all areas to remove debris
- × grind and re-point all masonry I. all areas discussed ( the first 15 ft. of the westside, the entire Southside including both sides of the parapet wall, and the smaller area on the eastside)
- × replace/repair the sand stone on the front of building that are deteriorating

Labor and material Total: \$14,110.00

Thanks again  
Jordan Roy  
Roy Brothers Masonry  
815-858-7686

Sent from my Sprint Samsung Galaxy S10e.

**CITY OF BLOOMINGTON**  
**REPORT FOR THE HISTORIC PRESERVATION COMMISSION**  
**March 19, 2020**

<b>CASE NO:</b>	<b>TYPE:</b>	<b>ADDRESS</b>	<b>SUBJECT:</b>	<b>REPORT BY:</b>
BHP-28-19	Local designation	112 E. Washington	Nomination and designate to S-4,	City Staff

<b>REQUEST:</b>	A petition submitted by the Franklin Park Foundation for the nomination and designation of 112 E. Washington Street D-2 Downtown Transitional District to D-2 with the S-4 Local Historic District zoning overlay.
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<b>STAFF RECOMMENDATION:</b>	Staff finds the petition to nominate 112 E. Washington Street <b>does not meet</b> the requirements of Section 44.8-4. <i>Staff recommends the Historic Preservation Commission deny a resolution recommending to the Planning Commission that the property at 112 E. Washington Street, State Farm Building, Art Deco style, be recognized for historic designated with the S-4, Local Historic Preservation Zoning Overlay.</i>
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**NOTICE** The application has been filed in conformance with applicable procedural requirements and legal, public notice for the hearing was published in *The Pantagraph* on November 4, 2019.

**GENERAL INFORMATION**

Applicant: The Franklin Park Foundation  
Owner: Urban Equity Properties, LLC (UEP)

**PROPERTY INFORMATION**

**Existing Zoning:** D-2  
**Existing Land Use:** Commercial office building  
**Property Size:** 66 X 120  
**PIN:** 21-04-334-007

**Historic District:** Bloomington Central Business District (CBD) (Downtown Historic District)  
**Year Built:** 1929  
**Architectural Style:** Art Deco  
**Architect:** Schaeffer and Hooten

**SURROUNDING ZONING AND LAND USES**

***Zoning***

**North:** D-2 Downtown Transitional District  
**South:** D-2 Downtown Transitional District  
**East:** D-2 Downtown Transitional District  
**West:** D-1 Central Business District

***Land Uses***

**North:** Parking garage  
**South:** Government Center  
**East:** Bank  
**West:** Bank

**Analysis:**

Submittals

This report is based on the following documents, which are on file with the Community Development Department.

1. Application for nomination and designation of the S-4 Historic Zoning Overlay
2. Site Photos

**PROJECT DESCRIPTION:**

The applicant is requesting the City of Bloomington designate the property with the S-4 Local Historic Preservation District Zoning Overlay. The purposes behind the historic preservation district overlay are:

1. To protect, enhance and perpetuate accomplishments and improvements that reflect the City's cultural, social, economic, political and architectural history;
2. Safeguard the City's historic and cultural heritage;
3. Stabilize and improve property values;
4. Foster civic pride in the beauty and noble accomplishments of the past;
5. Protect and enhance the City's attractions to residents, home buyers, tourists, and visitors thereby supporting and promoting business, commerce and industry;
6. Strengthen the economy of the City; and
7. Promote the use of historic districts and landmarks for education, pleasure, and welfare



*Background:*

The City of Bloomington received an application nominating the property at 112 E. Washington Street with the S-4 Local Preservation District. The application was submitted by the Franklin Park Foundation. The Foundation has no ownership interest in the building, nor any ownership interest surrounding the building or within the downtown district. 112 E. Washington Street is located in the Bloomington CBD Historic District, which is listed as a National Register Historic District. The building was once headquarters to State Farm Insurance. In 2017, the company closed the offices at 112 E. Washington Street and vacated the building. The building was on the market for approximately a year before State Farm announced intentions to demolish the building.

In October 2019, Urban Equity Properties, the property owner, purchased the building with the intention of redeveloping the property into mixed-use space. The project is estimated at \$40 million dollars<sup>1</sup> According to a newspaper article published in *the Pantagraph*<sup>2</sup>, the developer intends to use Historic Tax Credits to finance the project. Any project using historic tax credits must follow the Secretary of the Interior's Standards for Rehabilitation and must also be reviewed by the Illinois State Historic Preservation Officer. Additionally, tax credit projects have a minimum 5-year recapture period when, following the close of the project, no alterations nor demolition on the building can occur.

*Analysis:*

The application (attached) provided an explanation for six of the ten nomination standards and attached a copy of the National Register Nomination form for the Bloomington CBD Historic District as its supporting documentation. The National Register Nomination form is relatively silent on the significance of 112 E. Washington Street. No additional information regarding the significant architectural features for the property was provided. Additionally, the applicant did not provide supplemental information to support the standards stated in their application.

As stated in the National Register Nomination Form (and the application it is attached to), "The Bloomington CBD Historic District has both historical and architectural significance. The historical significance stems from the association of the area with people and events of national, statewide and, in particular, local importance. These events and people are particularly important in the fields of commerce, exploration and settlement, industry, and politics and government, but also examples from virtually every other category of significance recognized by the National Register. The architectural significance stems primarily from the survival of some 125 commercial structures from 1842 to 1942 and of entire blocks or significant portions of blocks representing all of the major structural and stylistic trends typical of commercial core areas in Illinois from 1855 to the present. The association of these buildings with each other and with other features combine to preserve an overall downtown landscape which has significance as an integral unit which is beyond that of any of its constituent structures. The area contains buildings

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<sup>1</sup> <http://rockrivertimes.com/2019/09/12/urban-equity-properties-purchases-former-state-farm-insurance-headquarters/>

<sup>2</sup> [https://www.pantagraph.com/business/sold-state-farm-downtown-building-on-track-toward-future-as/article\\_5c06142d-9697-50ea-b781-626ed1ad037b.html](https://www.pantagraph.com/business/sold-state-farm-downtown-building-on-track-toward-future-as/article_5c06142d-9697-50ea-b781-626ed1ad037b.html)

and clusters of buildings of significant aesthetic value designed by architects of recognized merit. The district also demonstrates to a significant extent the use of local building material and the development of local building technology, typical for a land-locked Midwestern City.”

The State Farm Building is listed as a contributing structure in the National Register Nomination form for Bloomington CBD Historic District. According to the nomination, “In all the Central Business District stands as a coherent document to Bloomington’s past. It is highly representative of not only the nationwide trends of thought and design which existed in the nineteenth and twentieth centuries but also of how a community using primarily its own material and intellectual resource was able to create an environment which it can claim to be uniquely its own.”

The applicant provided the following explanations that the standards were met:

1. ***Its character, interest, or value as part of the development, heritage, or cultural characteristics of the City, County of McLean, State of Illinois or the United States of America (the Nation);*** The original headquarters building of the most important employer in Bloomington.
2. ***Its location as a site of a significant local, county, state, or national event;*** The original office site of a local business venture that positively impacted the massively transformed the City of Bloomington and the United States.
3. ***Its identification with a person or persons who significantly contributed to the development of the City, County of McLean, State of Illinois, or the Nation;*** Many thousands of residents of the City of Bloomington worked in this building.
4. ***Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;*** The tallest building in Bloomington.
8. ***Its unique location or singular physical characteristics that make it an established or familiar visual feature;*** The most iconic and historic building in Bloomington, IL.
10. ***Its suitability for preservation or restoration.*** Highly suitable for preservation because it is in excellent physical condition.

Unfortunately, the applicant did not provide documentation necessary to meet the criteria for consideration of nominations as set forth in Chapter 44, 8-4, B. 2. in the City Code. The lack of appropriate documentation for addressing the required standards sets a poor precedence for considering this and other S-4 map amendments. The Preservation Commission and City Council do not have a history of designating S-4 properties without the consent of the owner. Additionally, there are only two commercial property with S-4 designation in the Bloomington CBD Historic District, the McLean County Courthouse and the synagogue at 315 N. Prairie Street. These properties were designated at the request of the owner. Applications regarding the potential designation of historic landmarks should properly document the historic and architectural significance, so that the Preservation Commission is not placed in a position of making arbitrary determinations and the integrity and reputation of the preservation program is not compromised.

The Preservation Commission will have to make a report to the Planning Commission explaining the significance or lack of significance and integrity of the nominated landmark as well as the significant architectural features that should be protected as well as the types of construction, beyond those requiring a permit, that should be reviewed. The report must also include proposed design guidelines, the relationship of the nominated landmark to the ongoing effort of the preservation commission, and recommendations pertaining to permitted uses, height, area, minimum dwelling unit size, floor area, sign area etc. (44-804d). *The information provided by the applicant does not provide the Preservation Commission with adequate information to form their report and recommendation to the Planning Commission.* Staff recommends that the application is moved forward with a **negative** recommendation to the Planning Commission due to a lack of supporting documentation related to the property's historic significance.

The Planning Commission will make a determination considering the recommendation of the Preservation Commission. Additionally, the Planning Commission will hold a public hearing on the application and consider the standards for a zoning map amendment. In their determination the Planning Commission will have to weigh the relative gain and hardship of the public versus the hardship or gain of the property owner resulting from the regulation. Given that this is one of the first instances of designating a commercial property without the property owner initiating the designation, staff is concerned that the restriction will create a barrier, real or perceived, to redevelopment of the building. It is in the public's best interest to have the building functioning, operational, and occupied. Furthermore, given the amount of investment and oversight provided by historic tax credits balanced against the lack of information provided in the application and the poor precedent a local nomination could establish at this time, staff recommends denying the application. Lastly, staff recommends that the Preservation Commission evaluate a strategy for preserving commercial buildings while updating the preservation plan this year.

**STAFF RECOMMENDATION:** *Staff recommends the Historic Preservation Commission deny a resolution recommending to the Planning Commission that the property at 112 E. Washington Street, Art Deco style, be recognized for historic designation and rezoned with the S-4, Local Historic Preservation Zoning Overlay.*

Respectfully Submitted,

City Staff

Attachments:

- S-4 application
- Site photos
- Zoning map
- Notice to applicant
- Notice to property owner
- Neighborhood notice and newspaper notice
- List of notified property owners

**RESOLUTION NO. 2020-**

**A RESOLUTION RECOMMENDING THAT THE PROPERTY LOCATED AT 112 E. WASHINGTON STREET BE RECOGNIZED AND REZONED WITH THE S-4 HISTORIC PRESERVATION DISTRICT ZONING OVERLAY**

WHEREAS, a nomination was submitted to the City of Bloomington Historic Preservation Commission by Franklin Park Foundation requesting that the property at 112 E. Washington Street, legally described in Exhibit "A", attached hereto, be recognized for its historic and cultural significance with the S-4 Historic Preservation District Zoning Overlay; and

WHEREAS, the Historic Preservation Commission determined that the nominated property meets at least one (1) of the criteria for consideration in Chapter 44 8-4 (B) 2 of the Bloomington City Code, 1960, as amended; and

WHEREAS, the Historic Preservation Commission has also determined that the nominated property has significant integrity of location, design, materials and workmanship and is therefore worthy of preservation or restoration; and

WHEREAS, the Historic Preservation Commission has the power to adopt this resolution and make a recommendation to the Bloomington Planning Commission; and

NOW, THEREFORE, BE IT RESOLVED by the Historic Preservation Commission of the City of Bloomington, McLean County, Illinois:

SECTION ONE: That it is recommended to the Bloomington Planning Commission that the premises located at 112 E. Washington Street legally described in Exhibit "A" be rezoned to have the historic designation of the S-4, Historic Preservation District Zoning Overlay.

ADOPTED this 19 day of March, 2020.

APPROVED this 19 day of November, 2020.

CITY OF BLOOMINGTON, ILLINOIS

ATTEST

\_\_\_\_\_  
Lea Cline, Chair

\_\_\_\_\_  
Casey Weeks, Secretary



Exhibit A  
Legal Description

ORIG TOWN 10' ALLEY BET & ALL LOTS 43 & 48

July 19, 2019

City of Bloomington  
Department of Community Development  
Attn: Katie Simpson, City Planner  
115 E. Washington St., Room 201  
Bloomington IL 61702-31157

Dear City of Bloomington:

Please find enclosed the Historic Preservation S-4 Designation nomination for the State Farm Downtown Building located at 112 E. Washington St. Bloomington Illinois.

We request that a Special Meeting of the Bloomington Historic Preservation Commission be called by Chairperson Cline as soon as possible to consider this nomination. Time is of the essence in protecting this structure with an S-4 Historic Preservation overlay zoning classification.

Sincerely,

Timothy J. Maurer

A black rectangular redaction box covering the signature of Timothy J. Maurer.

Franklin Park Foundation

**COPY**

JUL 26 2019

Historic Preservation S-4 Designation –Section 44.11-2

1. Property Information

Parcel Identification Number 21-04-334-007 Size (Acreage) 66' x 120'  
Address 112 E. Washington St. Bloomington IL 61701  
Current Zoning B-3  
Current Use Office

2. Applicant Information

Full Name Franklin Park Foundation  
Address 317 E. Chestnut St. City, State, ZIP Bloomington IL 61701  
Phone \_\_\_\_\_ Email \_\_\_\_\_

3. Owner Information (Check  if same as Applicant)

Full Name State Farm Mutual Automobile Insurance Company  
Address 1 State Farm Plaza City, State, ZIP Bloomington IL 61701  
Phone \_\_\_\_\_ Email \_\_\_\_\_

4. Attorney/Consultant Information (if applicable)

Full Name \_\_\_\_\_  
Company \_\_\_\_\_  
Address \_\_\_\_\_ City, State, ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_

Please include photographs and any other supporting documents referencing the historic value of the subject property.

Applicant Signature

*I certify that I have reviewed the relevant sections of the Bloomington Zoning Code, that the information above is true, and that I have provided all required documentation listed in the Application Checklist.*

[Redacted Signature]  
Signature

July 19, 2019  
Date

Timothy Maurer  
Printed Name

**COF**

JUL 26 2019

Historic Name of Building (if known) State Farm Headquarters Building Year Built 1929

Architectural Style Office Building

Architect (if known) \_\_\_\_\_

Is this property in a Historic District?  Yes  No. Which one? Downtown Bloomington Historic District

Criteria for Consideration of Nomination. The Preservation Commission shall, upon such investigation as it deems necessary, make a determination as to whether a nominated property, structure, or area meets one (1) or more of the following criteria, please explain if one (1) or more of the following criteria are met:

1. Its character, interest, or value as part of the development, heritage, or cultural characteristics of the City, County of McLean, State of Illinois or the United States of America (the Nation);

**The original headquarters building of the most important employer in Bloomington IL**

2. Its location as a site of a significant local, county, state, or national event;

**The original office site of a local business venture that positively impacted and massively transformed the City of Bloomington and the United States.**

3. Its identification with a person or persons who significantly contributed to the development of the City, County of McLean, State of Illinois, or the Nation;

**Many thousands of residents of the City of Bloomington worked in this building.**

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;

**Tallest building in Bloomington.**

5. Its identification as the work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the City, County of McLean, State of Illinois or the Nation;

6. Its embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant;

7. Its embodiment of design elements that make it structurally or architecturally innovative;

8. Its unique location or singular physical characteristics that make it an established or familiar visual feature;

**The most iconic and historic building in Bloomington IL**

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance; and/or

10. Its suitability for preservation or restoration.

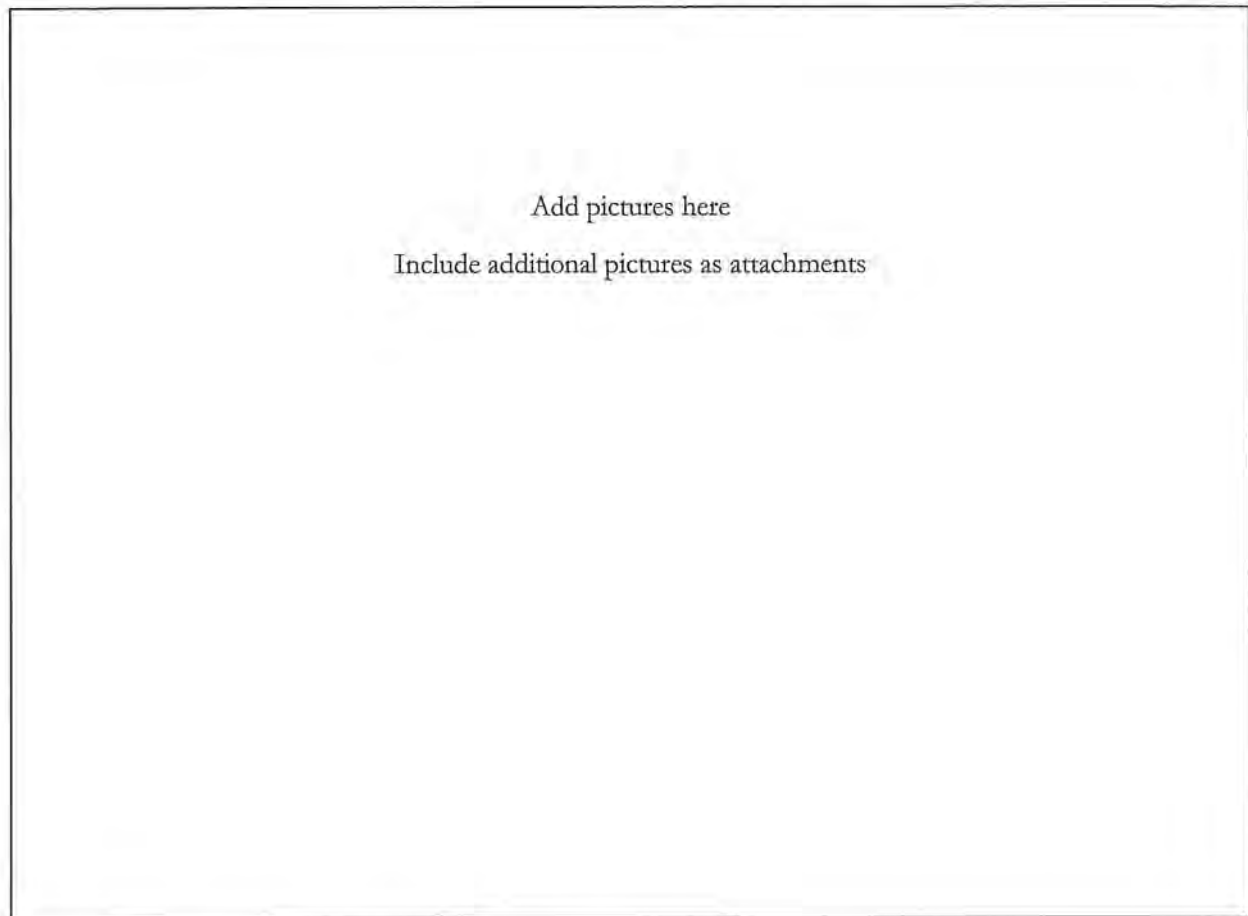
**Highly suitable for preservation because it is in excellent physical condition.**

**COPY**

JUL 26 2019



Any structure, property, or area that meets one (1) or more of the above criteria shall also have sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration. (Ordinance No. 2006-137)



**RETURN TO:**

**City of Bloomington**  
**Department of Community Development**  
**Attn: Katie Simpson, City Planner**  
**115 E. Washington St, Room 201**  
**Bloomington, IL 61702-3157**  
**Phone: 309-434-2341**  
**Email: [ksimpson@cityblm.org](mailto:ksimpson@cityblm.org)**  
**Fax: 309-434-2857**

**COPY**

JUL 26 2019

Photos of the State Farm Building at 112 E. Washington Street



*Figure 1 South and east elevations of the subject property, 112 E. Washington.*



*Figure 2 South Entrance of the subject property.*



Figure 3 South Entrance of the State Farm Building at 112 E. Washington Street.





Figure 4 West Elevation of the State Farm building.



Figure 5 South portion of east elevation.





Figure 6 Portion of east elevation showing the 1929 build and the later addition on the right side.



Figure 7 Northern portion of east elevation.



Figure 8 Northeast corner of the building showing the detailed cornice.



Figure 9 North elevation of the State Farm building.



## Zoning Map of the Bloomington Central Business District



Figure 1 The property outlined in yellow is the State Farm building at 112 E. Washington.

Historic Preservation S-4 Designation –Section 44.11-2

1. Property Information

Parcel Identification Number 21-04-334-007 Size (Acreage) 66' x 120'  
Address 112 E. Washington St. Bloomington IL 61701  
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Full Name \_\_\_\_\_  
Company \_\_\_\_\_  
Address \_\_\_\_\_ City, State, ZIP \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_

Please include photographs and any other supporting documents referencing the historic value of the subject property.

Applicant Signature

*I certify that I have reviewed the relevant sections of the Bloomington Zoning Code, that the information above is true, and that I have provided all required documentation listed in the Application Checklist.*

  
Signature

August 3, 2019  
Date

**Timothy Maurer**  
Printed Name



Historic Name of Building (if known) State Farm Headquarters Building Year Built 1929

Architectural Style Office Building

Architect (if known) \_\_\_\_\_

Is this property in a Historic District?  Yes  No. Which one? Downtown Bloomington Historic District

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2. Its location as a site of a significant local, county, state, or national event;

**The original office site of a local business venture that positively impacted and massively transformed the City of Bloomington and the United States.**

3. Its identification with a person or persons who significantly contributed to the development of the City, County of McLean, State of Illinois, or the Nation;

**Many thousands of residents of the City of Bloomington worked in this building.**

4. Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;

**Tallest building in Bloomington.**

5. Its identification as the work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the City, County of McLean, State of Illinois or the Nation;
6. Its embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant;
7. Its embodiment of design elements that make it structurally or architecturally innovative;
8. Its unique location or singular physical characteristics that make it an established or familiar visual feature;

**The most iconic and historic building in Bloomington IL**

9. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance; and/or
10. Its suitability for preservation or restoration.

**Highly suitable for preservation because it is in excellent physical condition.**

Any structure, property, or area that meets one (1) or more of the above criteria shall also have sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration. (Ordinance No. 2006-137)

Add pictures here  
Include additional pictures as attachments

**RETURN TO:**

**City of Bloomington  
Department of Community Development  
Attn: Katie Simpson, City Planner  
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STATE  
FARM  
INSURANCE

CHAFFNE  
CLOTHE





Chicago Photo  
1906/11/3





Bloomington Central Business District  
National Register Nomination Form (1974)

[Link on the City website](#)

**§ 44-804. Historic Preservation District.**

**A. Applicability.**

- (1) The S-4 Historic Preservation District is an overlay district which shall be applied in combination with one or more underlying base zoning districts, as shown on the Official Zoning Map. The S-4 Historic District designation may be applied to a single property (historic landmark) or group of properties (historic district) subject to the nomination process defined herein.
- (2) In an S-4 Historic Preservation District, all regulations of the underlying Agriculture District, Residence District, Business District, Manufacturing District or Public Interest District shall apply, except insofar as such regulations are in conflict with the special regulations applicable to the S-4 Historic Preservation District, and in the event of such conflict, the regulations governing such S-4 District shall apply. All permitted uses or special uses otherwise allowable in the underlying Agriculture District, Residence District, Business District, Manufacturing District or Public Interest District shall continue to be allowable uses except as provided in the designating ordinance, described in § 44-804B(6) of this Code.

**B. Designation of Landmarks and Historic Districts.**

- (1) Nominations. A nomination for a historic landmark or historic district may be submitted by a member of the Preservation Commission, owner of record of the nominated property or structure, City Council, or any other person or organization and shall be made on a form prepared by it by the Preservation Commission.
- (2) Criteria for consideration of nominations. The Preservation Commission shall, upon such investigation as it deems necessary, make a determination as to whether a nominated property, structure, or area possesses sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration and meets one or more of the following criteria:
  - (a) Its character, interest, or value as part of the development, heritage, or cultural characteristics of the City, County of McLean, State of Illinois, or the United States of America (the Nation);

- (b) Its location as a site of a significant local, county, state, or national event;
  - (c) Its identification with a person or persons who significantly contributed to the development of the City, County of McLean, State of Illinois, or the Nation;
  - (d) Its embodiment of distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or use of indigenous materials;
  - (e) Its identification as the work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the City, County of McLean, State of Illinois, or the Nation;
  - (f) Its embodiment of elements of design, detailing, materials, or craftsmanship that render it architecturally significant;
  - (g) Its embodiment of design elements that make it structurally or architecturally innovative;
  - (h) Its unique location or singular physical characteristics that make it an established or familiar visual feature;
  - (i) Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance; and/or
  - (j) Its suitability for preservation or restoration.
- (3) Preservation Commission review procedures.
- (a) Timeline. Within 45 days from receipt of a completed nomination, unless as extended by mutual agreement of the property owner(s), applicant and Director of Community Development, the Preservation Commission shall conduct a public hearing on the nomination of a historic landmark or historic district.
  - (b) Public notice. Notice of the public hearing shall be distributed at least 15 days prior to the hearing, in the following manner:
    - [1] By mail. Notice shall be sent by mail to the owner(s) of record and to the nominators, as well as to



property owners adjoining the nominated historic landmark or historic district. Notice shall include the date, time, place, and purpose of the public hearing and a copy of the completed nomination form.

- [2] Newspaper. Notice shall also be published in a newspaper having general circulation in the City. Notice shall include the date, time, place, and purpose of the public hearing and shall state the street address and legal description of the nominated landmark and/or the boundaries of a nominated historic district.
- (c) Public hearing. Oral or written testimony concerning the significance of the nominated historic landmark or historic district shall be taken at the public hearing from any person concerning the nomination. The owner of any nominated landmark or of any property within a nominated historic district shall be allowed reasonable opportunity to present evidence regarding significance and shall be afforded the right of representation by counsel and reasonable opportunity to cross-examine expert witnesses. The hearing shall be closed upon completion of testimony.
- (d) Recommendation and report. Within 60 days from receipt of a completed nomination, the Preservation Commission shall make findings and a recommendation as to whether the nominated landmark or historic district meets the criteria for designation and adopt such findings by resolution. The resolution shall be accompanied by a report to the Planning Commission containing the following information:
  - [1] Explanation of the significance or lack of significance of the nominated landmark or historic district as it relates to the criteria for designation;
  - [2] Explanation of the integrity or lack of integrity of the nominated landmark or historic district;
  - [3] In the case of a nominated landmark found to meet the criteria for designation:
    - [a] The significant exterior architectural features of the nominated landmark that should be protected;

[b] The types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit, that should be reviewed for appropriateness pursuant to the provisions of § 44-1105 of this Code.

[4] In the case of a nominated historic district found to meet the criteria for designation:

[a] The types of significant exterior architectural features of the structures within the nominated historic district that should be protected;

[b] The types of alterations and demolitions that should be reviewed for appropriateness pursuant to the provisions of § 44-1105 of this Code.

[5] Proposed design guidelines for applying the criteria for review of certificates of appropriateness to the nominated landmark or historic district;

[6] The relationship of the nominated landmark or historic district to the ongoing effort of the Preservation Commission to identify and nominate all potential areas and structures that meet the criteria for designation;

[7] Recommendations as to appropriate permitted uses, special uses, height and area regulations, minimum dwelling unit size, floor area, sign regulations, and parking regulations necessary or appropriate to the preservation of the nominated landmark or historic district;

[8] A map showing the location of the nominated landmark and the boundaries of the nominated historic district.

(e) Transmittal to Planning Commission. The recommendations and report of the Preservation Commission shall be sent to the Planning Commission within seven days following the vote on the resolution and shall be available to the public in the Office of the City Clerk.

(4) Planning Commission review procedures.

- (a) Timeline. The Planning Commission shall schedule a public hearing on the nomination within 30 days following receipt of a report and recommendation from the Preservation Commission regarding a nomination for a historic landmark or historic district.
- (b) Public notice. Notice of the public hearing shall be distributed at least 15 days prior to the hearing, in the following manner:
  - [1] By mail. Notice shall be sent by mail to the owner(s) of record and to the nominators, as well as to property owners adjoining the nominated historic landmark or historic district. Notice shall include the date, time, place, and purpose of the public hearing and a copy of the completed nomination form.
  - [2] Newspaper. Notice shall also be published in a newspaper having general circulation in the City. Notice shall include the date, time, place, and purpose of the public hearing and shall state the street address and legal description of the nominated landmark and/or the boundaries of a nominated historic district.
- (c) Public hearing. Oral or written testimony concerning the significance of the nominated historic landmark or historic district shall be taken at the public hearing from any person concerning the nomination. The Preservation Commission may present expert testimony or present its own evidence regarding the compliance of the nominated historic landmark or historic district with the criteria for consideration of a nomination set forth in § 44-804B(2). The owner of any nominated landmark or of any property within a nominated historic district shall be allowed reasonable opportunity to present evidence regarding significance and shall be afforded the right of representation by counsel and reasonable opportunity to cross-examine expert witnesses. The hearing shall be closed upon completion of testimony.
- (d) Determination by Planning Commission. Within 30 days following close of the public hearing, the Planning Commission shall make a determination, based upon the evidence presented, as to whether the nominated historic landmark or historic district meets the criteria for

designation. Such a determination shall be passed by resolution of the Planning Commission and shall be accompanied by a report stating the findings of the Planning Commission concerning the relationship between the criteria for designation in § 44-804B(2) and the nominated historic landmark or historic district and all other information required by § 44-804B(3). A concurring vote by a 2/3 of Planning Commission members then holding office shall be required to reach a determination that a nominated historic landmark or historic district does not meet the criteria for designation.

- (e) Notification of determination. Within seven days following determination by the Planning Commission, notice of the Planning Commission's determination, including a copy of the commission's resolution and report, shall be sent to the following parties:
  - [1] By regular mail to the nominator, owner of record of a nominated historic landmark and/or all owners of record of properties within a nominated historic district; and
  - [2] By hard copy or electronic transmittal to the City Council.
- (5) Appeal. A determination by the Planning Commission that the nominated historic landmark or historic district does not meet the criteria for designation shall be a final administrative decision reviewable under the Illinois Administrative Review Act provided, however, that the nominator or any owner of the nominated landmark or of property within the nominated historic district may within 30 days after the postmarked date of the notice of the determination, file with the City Clerk a written appeal to the Council pursuant to the procedures contained in Article XVII of this Code.
- (6) City Council action.
  - (a) Timeline. The City Council shall act upon a nomination to designate a historic landmark or historic district, or upon an appeal of the Planning Commission's findings to deny such nomination, within 60 days after receiving the Planning Commission's recommendation or a written appeal. The Council's action to deny historic designation or to reject an appeal shall be made in the form of a



resolution; approval shall be made by ordinance. Any resolution or ordinance shall be accompanied by a written statement explaining the reasons for the Council's action.

- (b) Public hearing. The City Council may hold a public hearing before enacting the resolution or ordinance and provide notice and take testimony in the same manner as provided in § 44-804B(4)(a) and (b).
  - (c) Notification of action. Within seven days following City Council action on a nomination or appeal, the City Clerk shall provide written notification of the action of the Council by regular mail to the nominator, the appellant, and/or the owner(s) of record of the nominated landmark or all owners of record of properties within a nominated historic district. The notice shall include a copy of the designation ordinance or resolution passed by the Council. A copy of each designation ordinance shall be sent to the Preservation Commission, the Planning Commission, and the Director of Community Development.
  - (d) Designating ordinance. Upon designation, the historic landmark or historic district shall be classified as a "S-4 Historic Preservation District" overlay district as provided in § 44-804A of this Code. The designating ordinance may prescribe the significant exterior architectural features; the types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit that should be reviewed for appropriateness; the design guidelines for applying the criteria for review of appropriateness; and sign regulations. Procedures for issuance of certificates of appropriateness are contained in Article XVII of this Code.
- (7) Interim control. No building permit shall be issued by the Director of Community Development for alteration, construction, demolition, or removal of a nominated historic landmark or of any property or structure within a nominated historic district from the date of the Preservation Commission meeting at which a nomination form is first presented until the final disposition of the nomination by the City Council unless such alteration, removal, or demolition is authorized by formal resolution of the City Council as necessary for public health, welfare, or safety. Unless extended by mutual

agreement of the property owner(s), applicant and Director of Community Development, the delay of the permit shall not exceed 180 days.

C. Amendment and rescission of designation. Designation may be amended or rescinded upon application to the Preservation Commission and compliance with the same procedure and according to the same criteria set forth herein for designation.

D. Bulk regulations.

(1) The following bulk regulations shall apply to all permitted uses:

(a) Lot regulations. To the extent that existing lot patterns, including lot size, shape, and orientation, contribute to the character of the S-4 Historic Preservation District, it is the intent of this section to encourage continuation of such patterns and prevent future fragmentation of landownership in a manner that would be inconsistent with, or have adverse effects on such character.

[1] Lots or portions of lots existing at the time of the S-4 Historic Preservation District designation may be combined subject to compliance with the designating ordinance and the general exceptions cited in § 44-902 of this Code.

[2] Lots or combinations of lots or portions thereof may only be reduced in width, depth, or area subject to compliance with the standards of the underlying zoning district, the designating ordinance, and approval by the Preservation Commission in accordance with the procedures defined in Article XVII of this Code.

(b) Yard regulations. Subject to the general exceptions cited by § 44-902 of this Code and compliance with the standards of the underlying zoning district and designating ordinance, front yards, side yards, rear yards or portions thereof may be reduced in width, depth, or area only upon approval by the Preservation Commission in accordance with the procedures defined in Article XVII of this Code.

(c) Height regulations.

- [1] Existing buildings or structures. Subject to the general exceptions cited by § 44-902 of this Code and compliance with the standards of the underlying zoning district and designating ordinance, the height of buildings or structures or portions thereof may be altered only upon approval by the Preservation Commission in accordance with the procedures defined in Article XVII of this Code.
  - [2] New buildings or structures. Subject to the general exceptions cited by § 44-902 of this Code and compliance with the standards of the underlying zoning district and designating ordinance, a building or structure may be constructed, placed, or erected to any height above grade only upon approval by the Preservation Commission in accordance with the procedures defined in Article XVII of this Code.
- (d) Building permit review. A building permit authorizing a new building or structure, or an exterior alteration or addition to any existing building or structure shall only be issued by the Director of Community Development subject to compliance with the designating ordinance and subsequent to review and approval by the Preservation Commission in accordance with the procedures defined in Article XVII of this Code.



Department of Community Development  
115 E Washington St, Ste 201  
Bloomington IL 61701  
309-434-2226  
planning@cityblm.org

March 10, 2020

Franklin Park Foundation  
c/o Timothy J. Maurer  
317 E Chestnut St.  
Bloomington, IL 61701

Subject: Notice of Public Hearing

Dear Mr. Maurer:

Notice is hereby given that the Historic Preservation Commission of the City of Bloomington, Illinois, will hold a public hearing to hear testimony on a S-4 Local Historic Preservation District nomination application (listed below) for property at *112 E. Washington Street, Bloomington, IL* ("Subject Property") owned by Urban Equity Properties. The Subject Property is legally described as ORIGINAL TOWN 10' ALLEY BET & ALL 43 & 48 (PIN:21-04-334-007).

1). A nomination application submitted by the Franklin Park Foundation.

The public hearing will be held:

Thursday, March 19, 2020

at 5:00 p.m. in the

City Council Chambers,

109 E. Olive Street, Bloomington, Illinois

The nomination application was filed, pursuant to §44-804 of the City Code, to establish a S-4 Local Historic Preservation District over the Subject Property.

You are receiving this notification since you submitted a nomination application. All interested persons may present their views upon said nomination applications, or ask questions related to the applicants' requests at the scheduled public hearings. Included with this letter is a copy of the nomination form you submitted. In addition to the form you submitted a copy of the Downtown Bloomington National Register nomination form available online at <https://www.cityblm.org/home/showdocument?id=17832>.

In compliance with the Americans with Disabilities Act and other applicable federal and state laws, the hearings will be accessible to individuals with disabilities. Persons requiring auxiliary aids and services should contact the City Clerk at (309) 434-2240 X 0, preferably no later than five days before the hearing. Please note that cases are sometimes continued or postponed for various reasons (i.e lack of quorum, additional time needed, etc.). The date and circumstance of the continued or postponed hearing will be announced at the regularly scheduled meeting. The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at [www.cityblm.org](http://www.cityblm.org).

Sincerely,

Planning Division Staff  
City of Bloomington, IL

Encl: Nomination Form





Department of Community Development  
115 E Washington St, Ste 201  
Bloomington IL 61701  
309-434-2226  
planning@cityblm.org

March 10, 2020

Urban Equity Properties  
401 E. State Street, 4<sup>th</sup> Floor  
Rockford, IL 61101

Subject: Notice of Public Hearing

To whom it may concern:

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You are receiving this notification since you are the property owner of the Subject Property. All interested persons may present their views upon said nomination applications, or ask questions related to the applicants' requests at the scheduled public hearings. Included with this letter is a copy of the submitted nomination form. In addition to the form, the applicant submitted a copy of the Downtown Bloomington National Register nomination available online at <https://www.cityblm.org/home/showdocument?id=17832>.

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Sincerely,

Planning Staff  
Community Development  
City of Bloomington, IL

Encl: Nomination form



Department of Community Development  
115 E Washington St, Ste 201  
Bloomington IL 61701  
309-434-2226  
planning@cityblm.org

March 10, 2020

Dear Property Owner or Resident:

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109 E. Olive Street, Bloomington, Illinois

The nomination application was filed, pursuant to §44-804 of the City Code, to establish a S-4 Local Historic Preservation District over the Subject Property.

You are receiving this notification since you own property within a 500 foot radius of the Subject Property. All interested persons may present their views upon said nomination application, or ask questions related to the applicants' requests at the scheduled public hearing. Copies of the submitted application are available for public review at the Community Development Department, 115 E. Washington St. Suite Bloomington, IL 61701.

In compliance with the Americans with Disabilities Act and other applicable federal and state laws, the hearing will be accessible to individuals with disabilities. Persons requiring auxiliary aids and services should contact the City Clerk at (309) 434-2240 X 0, preferably no later than five days before the hearing. Please note that cases are sometimes continued or postponed for various reasons (i.e lack of quorum, additional time needed, etc.). The date and circumstance of the continued or postponed hearing will be announced at the regularly scheduled meeting. The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at [www.cityblm.org](http://www.cityblm.org).

Sincerely,  
Planning Division Staff  
City of Bloomington, IL

Encl: Map



Department of Community Development  
115 E Washington St, Ste 201  
Bloomington IL 61701  
309-434-2226  
planning@cityblm.org

March 10, 2020

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109 E. Olive Street, Bloomington, Illinois

The nomination application was filed, pursuant to §44-804 of the City Code, to establish a S-4 Local Historic Preservation District over the Subject Property.

You are receiving this notification since you own property adjacent to the Subject Property. All interested persons may present their views upon said nomination applications, or ask questions related to the applicants' requests at the scheduled public hearing. Attached is a copy of the nomination form. Along with the form, the applicant submitted a copy of the Downtown Bloomington National Register District nomination, which is available online at <https://www.cityblm.org/home/showdocument?id=17832>.

In compliance with the Americans with Disabilities Act and other applicable federal and state laws, the hearing will be accessible to individuals with disabilities. Persons requiring auxiliary aids and services should contact the City Clerk at (309) 434-2240 X 0, preferably no later than five days before the hearing. Please note that cases are sometimes continued or postponed for various reasons (i.e lack of quorum, additional time needed, etc.). The date and circumstance of the continued or postponed hearing will be announced at the regularly scheduled meeting. The agenda and packet for the hearing will be available prior to the hearing on the City of Bloomington website at [www.cityblm.org](http://www.cityblm.org).

Sincerely,  
Planning Division staff  
City of Bloomington, IL

Encl: Nomination form

75965  
CITY OF BLOOMINGTON  
PUBLIC HEARING NOTICE  
Historic Preservation  
Commission  
Thursday, March 19, 2020

Notice is hereby given that the Historic Preservation Commission of the City of Bloomington, Illinois, will hold a public hearing on a S-4 Local Historic Preservation District nomination application (listed below) for property at 112 E. Washington Street, Bloomington, IL ("Subject Property") owned by Urban Equity Properties. The Subject Property is legally described as ORIGINAL TOWN 10' ALLEY BET & ALL 43 & 48 (PIN:21-04-334-007).

1. A nomination application submitted by the Franklin Park Foundation.

The public hearing will be held during the regular Historic Preservation Commission meeting on Thursday, March 19, 2020 at 5:00 p.m. in the City Council Chambers of City Hall Building at 109 E. Olive St., Bloomington, Illinois.

The nomination application was filed, pursuant to §44-804 of the City Code, to establish a S-4 Local Historic Preservation District over the Subject Property.

All interested persons may present their views upon such matters pertaining thereto at the hearing. The applications are on file for public review at the City of Bloomington Community Development Department, 115 E. Washington St., Suite 201, Bloomington, IL 61701.

In compliance with the Americans with Disabilities Act and other applicable federal and state laws, the hearing will be accessible to individuals with disabilities. Persons requiring auxiliary aids and services should contact the City Clerk, preferably no later than five days before the hearing. The City Clerk may be contacted either by letter at 109 E. Olive St., Bloomington, IL 61701, by telephone at 309-434-2240 X 0, or email [cityclerk@cityblm.org](mailto:cityclerk@cityblm.org). The City Hall is equipped with a text telephone (TTY) that may also be reached by dialing 309-829-5115.

Published: March 3, 2020



121 North Main LLC  
121 N Main St. Fl 4  
Bloomington, IL 61701

Fred Drake  
Heartland Bank & Trust Company  
P.O. Box 67  
Bloomington, IL 61702

121 NORTH MAIN LLC 121 N MAIN ST 4TH FL BLOOMINGTON, IL 61701	121 NORTH MAIN LLC % ROBERT VARNEY 121 N MAIN ST 4TH FL BLOOMINGTON, IL 61701	203 FRONT INC C/O JAMES T FINEGAN 111 W FRONT BLOOMINGTON, IL 61701
6 PROPERTY LLC 116 EASTVIEW DR NORMAL, IL 61761	BOYD, HAROLD & RHEA A EDGE 313 N MAIN ST BLOOMINGTON, IL 61701	BROWN, PAUL PO BOX 3367 BLOOMINGTON, IL 61701
CME REAL ESTATE INVESTMENTS LLC 1404 KURT DR BLOOMINGTON, IL 61701	DEVYN CORP 307 E GROVE BLOOMINGTON, IL 61701	EDMUND NELSON REVOCABLE TRUST % LINDA L BEATY 16016 E HARVARD AVE AURORA, CO 80013
FIRST OF AMERICA BANK TRUST C/O J ANET 15638 CRESTWICK DR BLOOMINGTON, IL 61704	FRANCOIS ASSOCIATES ARCHITECTS 118 W WASHINGTON ST UNIT A BLOOMINGTON, IL 61701	FRED WOLLRAB 107 HILL TOP BLOOMINGTON, IL 61701
GREEN BUILDING LCC 3102 HARVEST HILL AVENUE BLOOMINGTON, IL 61705	GREGOR, MARLENE 205 B LILY LN BLOOMINGTON, IL 61701	HEARTLAND BANK & TRUST CO 401 N HERSHEY RD BLOOMINGTON, IL 61704
HERITAGE ENTERPRISES, INC PO BOX 3188 BLOOMINGTON, IL 61701	HOFFMAN, FRANK E 3003 WISTERIA LN BLOOMINGTON, IL 61704	INN FRONT LLC 103 M ROBINSON STREET BLOOMINGTON, IL 61701
KNOBLOCH, DENNIS K 115 W JEFFERSON STE 200 BLOOMINGTON, IL 61701	LANCASTER, JAN % BISTRO 316 N MAIN ST BLOOMINGTON, IL 61701	LAWRENCE, PAUL G 108 W MONROE ST BLOOMINGTON, IL 61701
MANDULA BAY LLC 16133 INVERRARY LN BLOOMINGTON, IL 61705	MCCLELLAND, MICAH AND MELISSA 1106 E. GROVE BLOOMINGTON, IL 61701	MCLEAN COUNTY HISTORICAL SOCIETY 200 N MAIN ST BLOOMINGTON, IL 61701
MCLT 49 B 032400 PO BOX 3696 BLOOMINGTON, IL 61702	MCLT M541 317 N MAIN ST BLOOMINGTON, IL 61701	MCLT PBB-299%PEOPLES BANK TRUST DEPT P O BOX 68 BLOOMINGTON, IL 61702
MIDCITY PROPERTIES LLC 312 N MAIN ST BLOOMINGTON, IL 61701	NATIONAL CITY BANK ONE NATIONAL CITY PKWY K-A14- KALAMAZA00, MI 49009	NURCESKI, MEMED (MIKE) 110 W WASHINGTON BLOOMINGTON, IL 61701

OFB PROPERTIES  
102 N MAIN  
BLOOMINGTON, IL 61701

PUBLIC BUILDING COMMISSION %  
DARRELL OEHLER  
115 W JEFFERSON STE 200  
BLOOMINGTON, IL 61701

RJV PROPERTIES  
3102 HARVEST HILL AVE  
BLOOMINGTON, IL 61705

STATE FARM MUTUAL ATTN: TAX DEPT  
ONE STATE FARM PLAZA  
BLOOMINGTON, IL 61710

STUCKEY, CHARLES  
2101 WOODFIELD RD  
BLOOMINGTON, IL 61704

WANNEMACHER, STEVE  
2507 NORTH POINTE DR  
BLOOMINGTON, IL 61704

WERDERITS, JOHN R & WENDY M  
15643 GOLF CT  
BLOOMINGTON, IL 61704

XI VIXENS LLC  
209 E WASHINGTON UNIT 1  
BLOOMINGTON, IL 61701

PARKER MCLEAN COUNTY  
ENTERPRISES LLC  
511 MCCLUN ST  
BLOOMINGTON, IL 61701

REAL ESTATE HOLDINGS LLC  
PO BOX 3636  
BLOOMINGTON, IL 61702-3636

SECOND PRESBYTERIAN CHURCH  
404 N PAIRIE ST  
BLOOMINGTON, IL 61701

STATE FARM MUTUAL COPROPRATE TAX  
DEPARTMENT  
ONE STATE FARM PLAZA  
BLOOMINGTON IL 61710

SZYNKAREK, RYAN J  
54 AVON RD  
ELK GROVE VILLAGE, IL 60007

WEINTRAUB, ALAN  
2006 WOODFIELD  
BLOOMINGTON, IL 61704

WOLLRAB, JOHN  
116 EASTVIEW DR  
NORMAL, IL 61761

ZCV3 LLC  
419 N MAIN ST APT B  
BLOOMINGTON, IL 61701

PRAIRIELAND INVESTMETN PARTNERS,  
LLC  
P O BOX 10  
LINCOLN, IL 62656

REDBIRD PROPERTY MANAGEMENT CO  
200 N LINDEN ST  
NORMAL, IL 61761

STARK, DAVID  
209 E WASHINGTON ST UNIT 5  
BLOOMINGTON, IL 61701

STEINMAN, ROBERT M  
44 ALTEZA  
SANTA FE, NM 87508

TRUST CJG-21-0185-HBT 421,  
HEARTLAND BANK & TR CO  
200 W COLLEGE AVE  
NORMAL, IL 61761

WEINTRAUB, ALAN I & NAOMI H  
2006 WOODFIELD  
BLOOMINGTON, IL 61704

WONDERLIN, BEN HART C/O REDBIRD  
PROPERTY MGMT INC  
200 N LINDEN ST  
NORMAL, IL 61761

# McLean County Public Notification Public Hearing 3/19/2020 for a S-4 Designation of 112 E Washington St.

